

## GENERAL NOTES

1. WE CERTIFY TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF THAT THE DESIGN OF THE PROJECT COMPLIES WITH THE APPLICABLE PROVISIONS OF THE REQUIREMENTS OF SECTIONS 34-401 TO 34-411, INCLUSIVE, OF THE REVISED STATUTES OF THE STATE OF ARIZONA.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. IF DIMENSIONAL ERROR OCCURS OR CONDITION NOT COVERED IN DRAWINGS IS ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK. DIMENSIONS TAKE PRECEDENCE OVER SCALE.
3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
4. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
5. THE CONTRACTOR SHALL PAY ALL FEES FOR PERMITS, ETC., NECESSARY FOR PROPER COMPLETION OF THE WORK.
6. SLOPE ALL GRADES AWAY FROM BUILDING FOR POSITIVE DRAINAGE.
7. ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER ACCEPTABLE TO OWNER AND GUARANTEED ONE (1) YEAR.
8. WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
9. CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION (IN WRITING).
10. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED OR CAPPED, AS REQUIRED BY CODE OR SOUND CONSTRUCTION PRACTICE.
11. CONTRACTOR SHALL PROVIDE AND PAY FOR TEMPORARY LIGHT, POWER AND WATER.
12. CONTRACTOR SHALL KEEP PREMISE FREE FROM ACCUMULATION OF RUBBISH AND SHALL LEAVE THE WORK "BROOM CLEAN". SITE SHALL BE LEFT "RAKE CLEAN".
13. THE CONTRACTORS SHALL EMPLOY THE SERVICES OF A QUALIFIED SOILS AND CIVIL ENGINEER TO ESTABLISH GRADES, LOCATION OF BUILDING AND TO CERTIFY COMPLIANCE WITH COMPACTION REQUIREMENTS FOR THE PROJECT.
14. CONTRACTOR SHALL VERIFY THAT ALL FOOTINGS, SUBTERRANEAN TANKS, VOIDS, ETC., ARE REMOVED FROM THE SITE WITH HOLES PROPERLY BACKFILLED AND COMPACTED TO FULLY SUPPORT THE LOAD INTENDED WITH COMPACTION CERTIFIED BY A QUALIFIED SOILS ENGINEER.
15. SUB-SOIL TREATMENT - SUBGRADE AT BUILDING AND SLAB ADJACENT TO BUILDING TO BE TREATED AGAINST TERMITES. PROVIDE OWNER WITH WRITTEN GUARANTEE OF THE EFFECTIVENESS AGAINST INFESTATION FOR A FIVE (5) YEAR PERIOD.
16. THE STARTING OF WORK BY ANY CONTRACTOR OR SUBCONTRACTOR SHALL BE CONSIDERED PRIMA FACIE EVIDENCE THAT HE HAS INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND FINDS THEM SATISFACTORY.
17. CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES IN UTILITY EASEMENTS AND PROTECT SAME.
18. COORDINATE WITH IRRIGATION SPRINKLER SYSTEM CONTRACTOR TO PROVIDE P.V.C. SLEEVES, LINES, ETC., TO ALL PLANTING AREAS AS REQUIRED.
19. ALL COMPONENTS, EQUIPMENT, ETC., SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
20. CONTRACTOR SHALL VERIFY ALL ROOF MOUNTED EQUIPMENT LOADS AND NOTIFY THE ARCHITECT OF ANY CHANGES IN SIZE, WEIGHT, AND LOCATION OR ADDITIONAL LOAD TO THESE INDICATED ON THE DRAWINGS.
21. SEE GENERAL STRUCTURAL NOTES, SHEET A-3.

## PROJECT DATA

CODE: 1979 UBC  
ZONING: C-2  
OCCUPANCY: A3  
CONSTRUCTION TYPE: V One Hour (SEE NOTE BELOW)  
ALLOWABLE FLOOR AREA (BASIC): 10,500 S.F.  
AREA INCREASE: 75%  
Separation on all sides min. width condition is 35'-15' factor x 5% = 75% increase  
ALLOWABLE FLOOR AREA W/INCREASE: 18,375 S.F.  
ACTUAL FLOOR AREA: 11,624 S.F. (Building)  
2,580 S.F. (Canopy)  
NET SITE AREA (ENTIRE SITE): 9.1520 Acres  
'SHOWBIZ' PAD SIZE: 1.0 Acre  
SITE COVERAGE: 3.56%  
PARKING: Required:  
4,430 S.F. Games & Circ. @ 1/75 = 59 Spaces  
3,421 S.F. Dining @ 1/50 = 69 Spaces  
Other Areas = 00 Spaces  
Total Parking Required: 128 Spaces  
Parking Provided: 160 Spaces  
ASSESSORS PARCEL NUMBER: 134-28-001A  
FIRE RESISTIVE SUBSTITUTION: A fully Automatic Sprinkler System will be provided in lieu of One Hour Construction, as provided for in Section 508 of the 1979 UBC.

## PROJECT INFORMATION

PROJECT: 'SHOWBIZ PIZZA PLACE'  
S-M PIZZA INC., STORE #2  
856 South Alma School Road  
Mesa, Arizona 85202  
OWNER: S-M PIZZA INCORPORATED  
2990 East Northern Avenue, Suite 101-C  
Phoenix, Arizona 85020  
ARCHITECT: UMBERGER ASSOCIATES  
815 East Camelback Road, Suite 205  
Phoenix, Arizona 85014  
(602) 264-2617  
CONTRACTOR: TIBSHRAENY BROTHERS CONSTRUCTION, INC.  
2111 West University Drive  
P.O. Box 1029  
Mesa, Arizona 85201  
(602) 969-2201  
EXPLANATION: 'SHOWBIZ PIZZA PLACE' is a franchised pizza restaurant of approximately 12,000 square feet (single level) which will contain kitchen areas, dining areas, and a large game room. The restaurant will occupy a pad in the south east corner of a future neighborhood shopping center located on the southwest corner of the intersection of Eighth Avenue and Alma School Road in Mesa, Arizona.

## CONSULTANTS

STRUCTURAL ENGINEER: McCausland Engineering  
7310 East Statton, Suite #3  
Scottsdale, Arizona 85251  
(602) 949-0300  
MECHANICAL/PLUMBING: JEFFRIES ENGINEERING  
354 East Virginia Avenue  
Phoenix, Arizona 85004  
(602) 264-0939  
ELECTRICAL: WRIGHT ELECTRICAL CONSULTING  
P.O. Box 26596  
Tempe, Arizona 85282  
c/o (602) 264-2617  
CIVIL: FRANZOV-CORY  
4022 East Broadway Road, Suite #121  
Phoenix, Arizona 85040  
(602) 276-2435

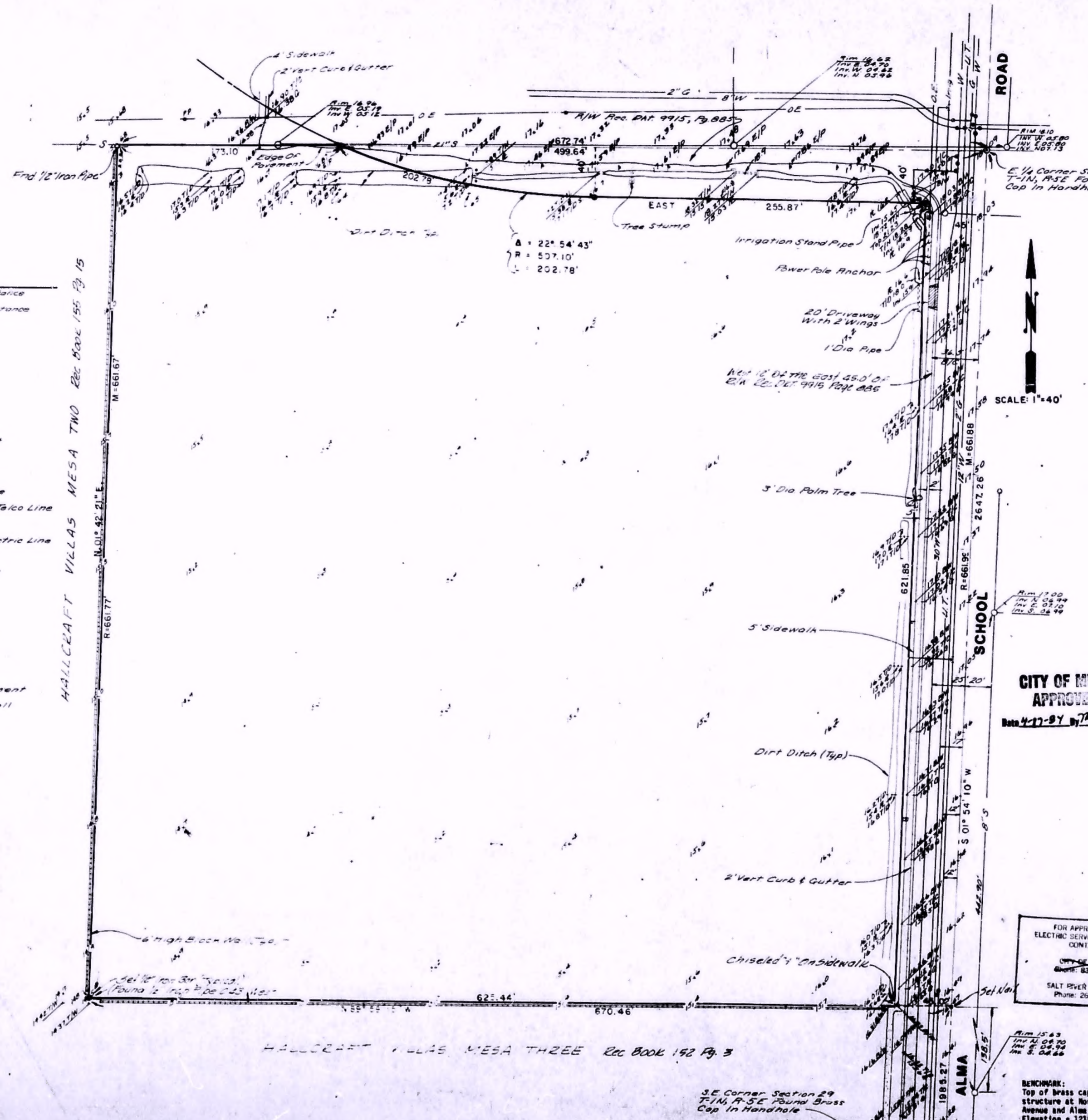


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CITY OF MESA  
BUILDING INSPECTION DIVISION  
**NOTICE**  
THE FINAL INSPECTIONS MARKED BELOW MUST BE APPROVED:  
☒ BUILDING INSPECTION — 834-2314  
☒ FIRE MARSHALL — 834-2622  
☒ ENGINEERING DEPT — 834-2248  
☒ ZONING & SIGNS — 834-2311  
IT IS UNLAWFUL TO OCCUPY THIS BUILDING WITHOUT A CERTIFICATE OF OCCUPANCY HAVING BEEN ISSUED BY THE BUILDING OFFICIAL.





- LEGEND**
- R. Recorded Distance
  - M. Measured Distance
  - Pavement
  - Concrete
  - S. Sewer Line
  - Manhole
  - W. Water Line
  - Water Valve
  - Water Meter
  - Fire Hydrant
  - G. Gas Line
  - Gas Valve
  - Irrig. Irrigation Line
  - U.T. Underground Telco Line
  - Telco Riser
  - O.E. Overhead Electric Line
  - Power Pole
  - Traffic Signal
  - Traffic Sign
  - T/C Top Of Curb
  - G. Gutter
  - B/W Back Of Walk
  - T/D Top Of Ditch
  - E. Flow Line
  - E/P Edge Of Pavement
  - T/H Top Of Headwall

**ARCHITECTS TOPOGRAPHY**  
for  
**TIBSHRAENY DEVELOPMENT CO.**  
2111 W. University Drive  
Mesa, Arizona 85201

**LEGAL DESCRIPTION:**

The East half of the North half of the Northeast quarter of the Southeast quarter of Section 29, Township 1 North, Range 5 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

EXCEPT the East 45.0 feet for roadway, and  
EXCEPT that portion described as follows:

Beginning at the East quarter corner of said Section 29;  
thence South 1° 54' 10" West along the East line of the Southeast quarter of said Section 29, 40.02 feet;  
thence West parallel with the North line of the said Southeast quarter 45.02 feet to the point of beginning;  
thence continuing West 255.87 feet to a point on the arc of a circle, the center of which bears North 507.10 feet;  
thence Northwesterly along the arc of said circle through a central angle of 22° 54' 43" a distance of 202.78 feet to the North line of the said Southeast quarter;  
thence East along the said North line 454.62 feet;  
thence South 1° 54' 10" West parallel with the East line of the said Southeast quarter 40.02 feet to the point of beginning.

Described property being in and forming a part of the City of Mesa and comprising an area of 9.1520 net acres more or less.

**CITY OF MESA APPROVED**  
Date 7-17-84 by [Signature]

OCCUPANCY GROUP: A-3  
CONSTRUCTION TYPE: 5 INR  
NOTE: THESE APPROVED PLANS AND SPECIFICATIONS ARE TO BE KEPT ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.  
CITY OF MESA  
DEPT. OF BUILDING INSPECTIONS

**UTILITY NOTE:**  
Information concerning existing underground utilities has been obtained from existing records, however, they may not necessarily reflect the exact location of such facilities. Any excavation or construction activity within the property should be done only after contacting Blue Stake for exact location of facilities on this site: Phone 263-1100

**TITLE SEARCH NOTE:**  
The information shown hereon was compiled without benefit of a Title Search and therefore does not necessarily reflect the true condition of the premises with respect to easements, rights-of-way, agreements, etc. of public records.

FOR APPROVAL OF  
ELECTRIC SERVICE LOCATION  
CONTACT  
CITY OF MESA  
Phone: 263-2295  
SALT RIVER PROJECT  
Phone: 267-9161

**CERTIFICATION:**  
I hereby certify the above described Architect's Topography was surveyed under my direction on the date shown and this Plat of Survey is a true and correct representation thereof to the best of my knowledge.  
[Signature] 6/25/ 7/20/83  
Reg. No. Date

**BENCHMARK:**  
Top of brass cap on Salt River Irrig. structure at Northwest corner of 8th Avenue and Alma School Road.  
Elevation = 1210.82  
City of Mesa Datum

**BRADY LAND SURVEYING**  
Robert H. Brady P.E.  
Donna M. Brady L.S.  
1042 E. Goodenough Rd. Suite 100  
Tempe, Arizona 85283  
Phone: 928-4000

**TIBSHRAENY DEVELOPMENT**  
DRAWN CHECKED JOB NO.  
D.U.C. P.H.B. 883-06-230

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JAN 23 1984  
CITY OF MESA  
BUILDING INSPECTION

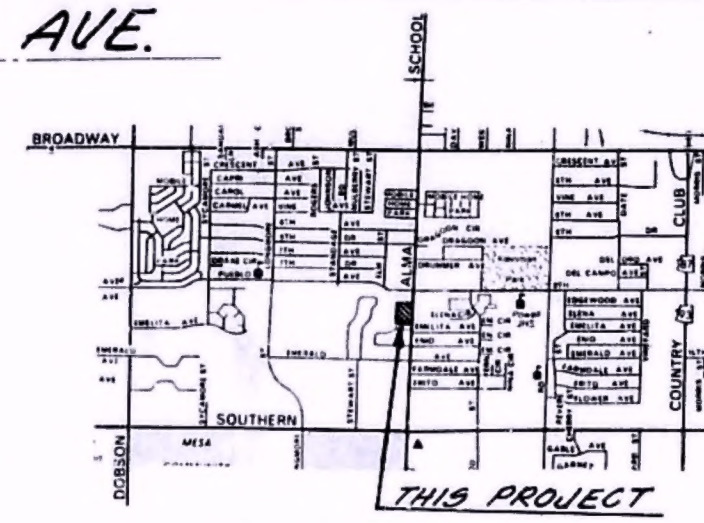
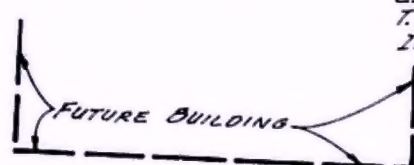
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CITY OF MESA  
BUILDING INSPECTION

**SS**



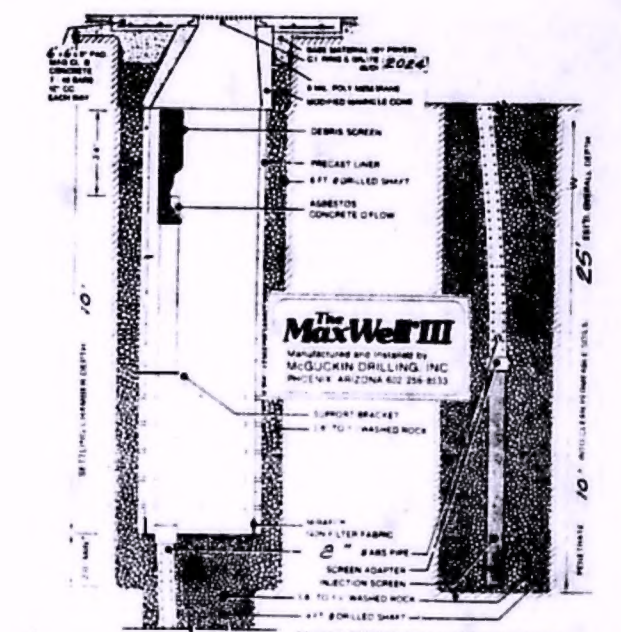
E. 1/4 COR. SECT. 29  
T.1N, R.5E, FND. 0.C.  
IN HANDHOLE

8TH AVE.



VICINITY MAP  
N.T.S.

- GENERAL NOTES
1. ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS AS AMENDED BY THE CITY OF MESA AND ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
  2. THE CONTRACTOR SHALL NOTIFY THE CITY OF MESA INSPECTION DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF ANY CONSTRUCTION OF PUBLIC FACILITIES.
  3. CONTRACTOR TO OBTAIN ANY PERMITS REQUIRED, AND COORDINATE ALL DRY-UPS, RESETS AND REMOVAL BY OTHERS.
  4. THE CONTRACTOR IS ADVISED THAT AN EXCAVATION AND DIRT MOUND PERMIT IS REQUIRED BY THE MARICOPA COUNTY HEALTH DEPARTMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THIS PERMIT AND COMPLY WITH ITS REQUIREMENTS.
  5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING UTILITIES AND AVOIDING DAMAGE TO SAME. CALL 348-1100 FOR BLUE STAKES. FOR SALT RIVER PIONEER DISTRICT POLE MARKING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING, CALL 333-8888.
  6. CONTRACTOR SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADE AS PER CURRENT CITY OF MESA "TRAFFIC BARRICADE MANUAL".
  7. BACKFILL MATERIAL ADJACENT TO THE CITY OF MESA (AT PIPE) SHALL BE FREE FROM MATERIAL INJURIOUS TO THE PIPE OR COATING. WHEN INJURIOUS MATERIALS ARE ENCOUNTERED, THE PIPE WITHIN AT LEAST 4 INCHES OF PIPE (1/2 INCH AND SMALLER SCREENING) AGGREGATE MATERIAL. SCREENING LARGER THAN 1/2 INCH ARE CONSIDERED INJURIOUS MATERIAL TO THE COATING.
  8. WHEN GAS MAIN AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT 334-2554 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO THE BACKFILLING OF THE TRENCH.
  9. A GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PROVIDED BY AN APPROVED PLAN REVISION.
  10. CONTRACTOR SHALL PROVIDE LEVEL BOTTOM IN ALL RETENTION BASINS AT ELEVATIONS AS SHOWN ON THE PLANS. RETENTION BASIN SIDE SLOPES SHALL NOT EXCEED 3:1 ON PRIVATE PROPERTY.
  11. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTH OF ALL THE EXISTING UTILITY LINES WITHIN THE PROPOSED RETENTION BASIN AREA. IF THE BASIN CANNOT BE CONSTRUCTED AS PER PLAN BECAUSE OF CONFLICT WITH UNDERGROUND UTILITIES, THE CONTRACTOR SHOULD REQUEST MODIFICATION OF BASIN CONFIGURATION BY PLAN REVISION.
  12. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SNALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE WEIRS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT BUILDINGS FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO FINAL INSPECTION.
  13. FIELD INSPECTION AND TESTING IS REQUIRED. CONTRACTOR SHALL ARRANGE WITH THE OWNER TO PROVIDE INSPECTION AND TESTING.
  14. ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE QUANTITIES AND BASE HIS BID ON HIS ESTIMATE.
  15. THE ENGINEER IS NOT RESPONSIBLE FOR ANY ESTIMATES, BIDS, CONSTRUCTION OR OTHER ACTIONS OR DECISIONS MADE WHICH HAVE BEEN BASED ON PRELIMINARY OR UNAPPROVED PLANS.
  16. THE CONTRACTOR SHALL FOLLOW THE DETAILED AND REGULATIONS AS SET FORTH BY U.S.H.A. NEITHER BROOKS, HENRY AND ASSOCIATES, INC. OR THE OWNER SHALL BE RESPONSIBLE FOR JUDICIAL SAFETY PROCEDURES.
  17. ANY AND ALL ITEMS EXISTING SHALL BE PROTECTED BY THE CONTRACTOR AND IF ANY ITEMS MUST BE REMOVED IN ORDER TO FACILITATE CONSTRUCTION, CONTRACTOR SHALL RELY ON THE ITEMS TO THE SAME OR BETTER CONDITION THAT IT WAS BEFORE REMOVAL.
  18. ALL REQUESTS FOR STAKING SERVICES SHALL BE MADE IN AN AUTHORIZED REPRESENTATIVE OF THE OWNER OR CONTRACTOR AT LEAST 2 WORKING DAYS BEFORE THE STAKING SERVICES ARE DESIRED TO START. REQUESTS FOR STAKING SERVICES WILL BE PROVIDED ONLY AFTER AN EXTRA WORK AUTHORIZATION IS SIGNED BY AUTHORIZED REPRESENTATIVE OF THE OWNER OR CONTRACTOR. THE OWNER WILL PROVIDE ONE SET OF CONSTRUCTION STAKES.
  19. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND ACCEPT ALL CONSTRUCTION STAKES PRIOR TO STARTING ANY CONSTRUCTION. ONLY CONSTRUCTION HAS STARTED ON A PHASE OF WORK THE ENGINEER SHALL HAVE NO RESPONSIBILITY OR LIABILITY FOR THAT PHASE OF WORK DUE TO CONSTRUCTION STAKING OMISSIONS OR ERRORS.



INJECTION WELL SPECIFICATIONS

ITEM	DESCRIPTION	QUANTITY
1	PRECAST CONCRETE WELL HEAD	1
2	PRECAST CONCRETE WELL HEAD	1
3	PRECAST CONCRETE WELL HEAD	1
4	PRECAST CONCRETE WELL HEAD	1
5	PRECAST CONCRETE WELL HEAD	1
6	PRECAST CONCRETE WELL HEAD	1
7	PRECAST CONCRETE WELL HEAD	1
8	PRECAST CONCRETE WELL HEAD	1
9	PRECAST CONCRETE WELL HEAD	1
10	PRECAST CONCRETE WELL HEAD	1

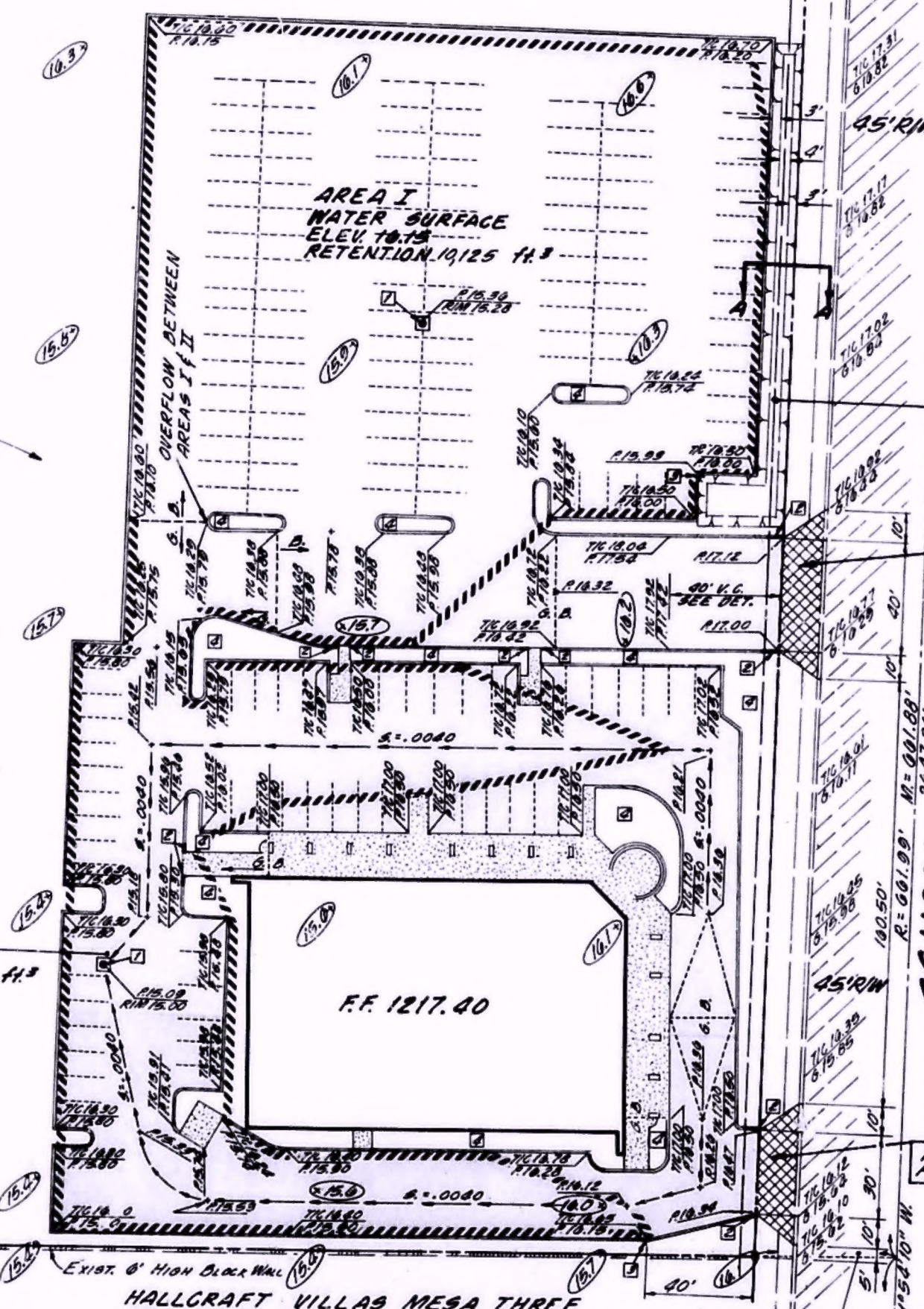
DRYWELL DETAIL

RETENTION DATA	
Total Area	108,320 sq. ft.
Area I	231' x 220' = 50,820 sq. ft.
Area II	214' x 250' = 53,500 sq. ft.
Area III	214' x 250' = 53,500 sq. ft.
Area IV	214' x 250' = 53,500 sq. ft.
Area V	214' x 250' = 53,500 sq. ft.
Area VI	214' x 250' = 53,500 sq. ft.
Area VII	214' x 250' = 53,500 sq. ft.
Area VIII	214' x 250' = 53,500 sq. ft.
Area IX	214' x 250' = 53,500 sq. ft.
Area X	214' x 250' = 53,500 sq. ft.

APPROVAL  
CITY OF MESA

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
(FOR) CITY ENGINEER

RECEIVED  
MAR 29 1984  
CITY OF MESA  
BUILDING INSPECTION

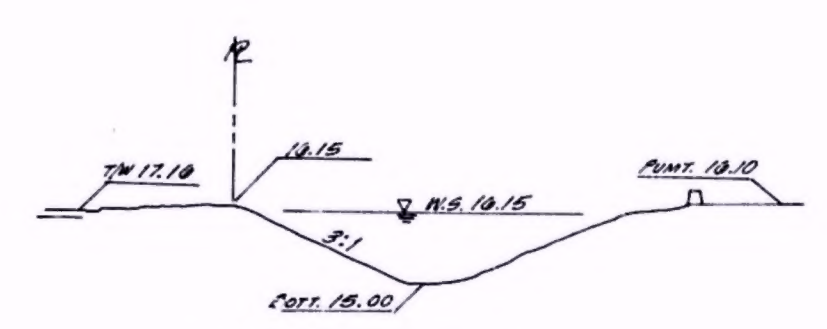


SCALE: 1"=30'

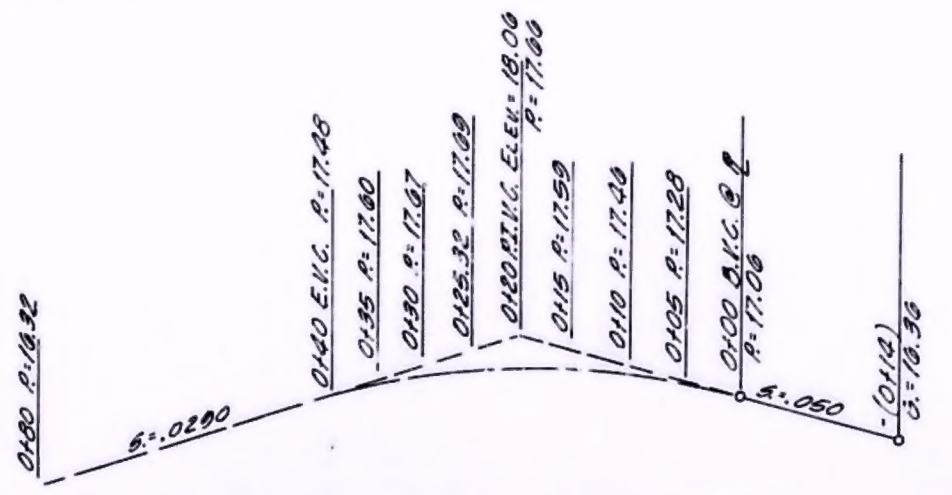
AREA I  
WATER SURFACE  
ELEV. 10.15 @ P.  
OUT. ELEV. 15.00  
SIDE SLOPE 3:1  
RETENTION 1813 H#3

NEW 700 S.F. 6" CONC. DRIVE  
PER MESA DET. M-42 TYPE "A"

NEW 500 S.F. 6" CONC. DRIVE  
PER MESA DET. M-42 TYPE "A"



SECTION A-A  
N.T.S.



VERTICAL CURVE DETAIL  
(CENTERLINE GRADES FOR MAIN ENTRY) N.T.S.

NOTES

1. INSTALL DRYWELL PER DETAIL THIS SHEET
2. CURB TERMINATION M.A.G. STD. DET. NO. 222
3. 12" CURB OPENING FOR DRAINAGE
4. DEPRESS LANDSCAPE 4" BELOW OUTFALL FOR RETENTION.

LEGEND

- 2" A.C. PAVEMENT OVER 4" A.B.C.
- RETENTION AREA
- EXIST. PUNT.
- EXIST. ELEV.
- FINISH PLAN ELEVATION
- HIGH WATER LIMITS

SOUTHERN AVE.

S.E. CORNER SECTION 29  
T.1N, R.5E, FND. 0.C.  
IN HANDHOLE

B.M.  
TOP OF BRASS CAP ON SALT RIVER IRRIGATION  
STRUCTURE AT NORTHWEST CORNER OF 8TH AVENUE  
AND ALMA SCHOOL ROAD.  
ELEVATION = 1219.82  
CITY OF MESA DATUM



EXIST. M.H.  
RIM = 16.96  
INV. E. 05.19  
INV. W. 05.12

STA. (10+03) - TAP NEW 8" SEWER  
TO EXIST. M.H. INV. EL. OF NEW  
SEWER 07.60 SAW CUT, REMOVE  
& REPLACE P.V.M.T. IN ACCORDANCE  
W/ MAG. DET. NO. 200 TYPE 'A'. PAY  
QUANTITY WILL BE 4.5 S.Y.

STA. 1+45 INSTALL NEW  
M.H. #2. MAG. STD. DET.  
NO'S 420 & 424  
COVER 17.0, INV. E. 08.57,  
INV. S. 08.67

STA. 0+49 INSTALL NEW M.H.  
#1, MAG. STD. DET. NO'S 420  
& 424. INV. N. 07.91,  
INV. W. 08.01, COVER 17.0  
STUBOUT AND PLUG 8" V.G.P.  
TO EAST. MAG. STD. DET. 427

EXISTING M.H.  
RIM = 18.10  
INV. W. 05.80  
INV. E. 05.80  
INV. N. 07.13

#### QUANTITIES

12" x 8" T.S. & V. w/B&C	1 Each
8" Water Pipe (Jack & Bore)	35 L.F.
8" Water Pipe	240 L.F.
6" Gate Valve w/B&C	1 Each
6" C.I.P.	25 L.F.
6" Fire Hydrant	1 Each
4" Fire Line	102 L.F.
2" Service Line	102 L.F.
Water Meter w/B&C	1 Each
8" Gate Valve w/B&C	1 Each
8" V.C.P. Sewer	539 L.F.
San Manhole	3 Each
4" San Service Line	120 L.F.
San Clean Out	1 Each
Pavement Cut & Replacement	4.5 S.Y.

STA. 5+29  
INSTALL M.H. #3, MAG. STD. DET.  
NO'S 420 & 424. STUBOUT &  
PLUG 8" V.G.P. TO WEST. MAG.  
STD. DET. NO. 427. COVER 16.75  
INV. N. 10.90, INV. S. 11.00

NEW 4" SERVICE LINE TO 5' FROM  
PROPOSED BUILDING W/ C.O. AT  
BUILDING

INSTALL 8" x 6" TEE, 1-8" #1-6" GATE  
VALVES W/ B. & C., 25 L.F. G.C.I.P.,  
& FIRE HYDRANT COMPLETE.

PROVIDE 1 EACH SIAMESE CONNECTION

INSTALL 102 L.F. 4" FIRE LINE TO  
WITHIN 5' OF BUILDING

SEE GAS METER  
DET. SHEET P-2

INSTALL 275 L.F. OF  
1" PE 2306 GAS SERVICE PIPE

PIN. FLR. 1217.40

INSTALL CURB STOP  
W/ PLUMBING PIPE PER  
DET. 510 TYPE 'A'

INSTALL 240 L.F. NEW 8"  
WATER LINE. MAINTAIN  
3' MIN. COVER

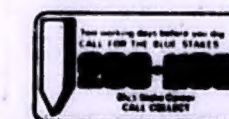
INSTALL 17 L.F. 1 1/2"  
SER. LINE W/ METER

INSTALL 102 L.F. 2" SERVICE  
LINE W/ 2" COMM. METER TO  
WITHIN 5' OF BUILDING

EXIST. M.H.  
RIM = 17.00  
INV. N. = 06.99  
INV. E. = 07.10  
INV. S. = 06.99

1-12" x 8" TAPPING SLEEVE  
& VALVE W/ B&C. TAP  
EXISTING 12" WATER LINE  
JACK & BORE IN PUBLIC  
RIGHT-OF-WAY - 35 L.F.

BORE UNDER EXIST. SIDEWALK,  
CURB, GUTTER & PAVEMENT.  
REPAIR AND REPLACE P.V.M.T.  
AS REQUIRED. INSTALL 1"  
STEEL SERVICE TAPPING TEE  
AND 1" TRANSITION FITTING.



TIBSHRAENY  
SHOW BIZ PIZZA INC.

WATER & SEWER PLAN

Date 17.00.05  
Designed S.W.D.  
Drawn S.R.M.  
Checked J.S.P.  
Revised S.W.D.



Franzoy, Corey & Associates  
Consulting Engineers  
1030 E. Guadalupe Road  
Tempe, Arizona 85283  
602-838-0828

C 2

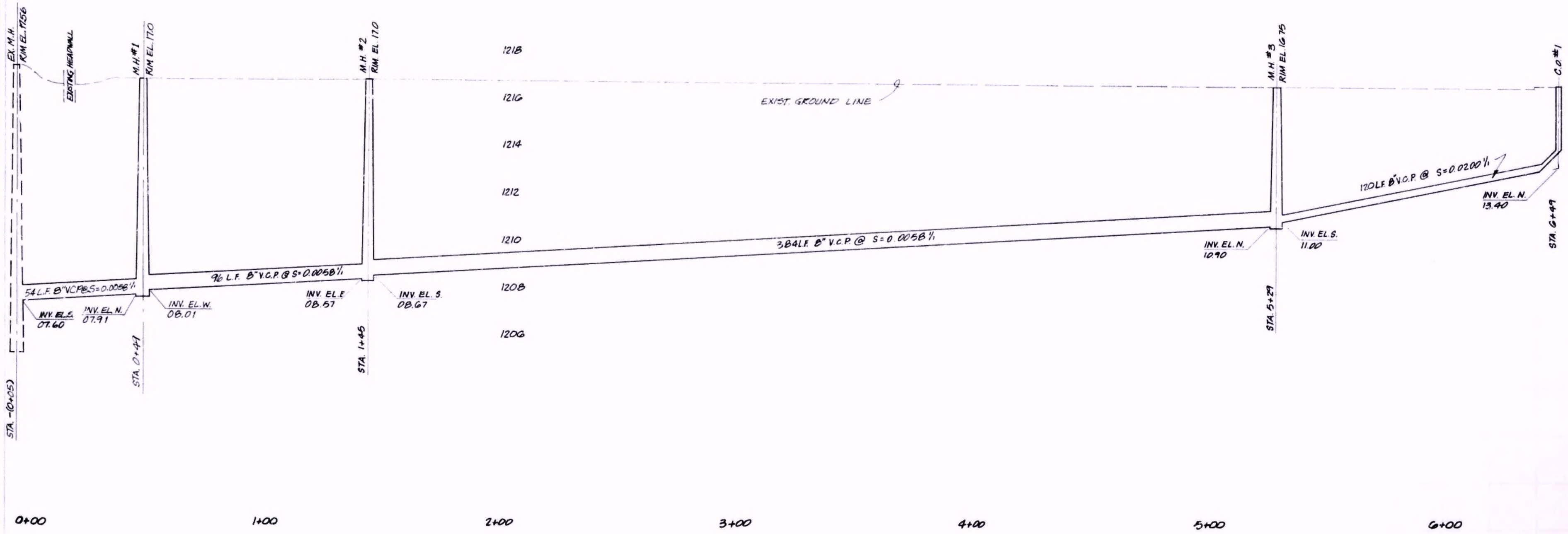
#### GENERAL NOTES


1. ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS AS AMENDED BY THE CITY OF MESA AND ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
2. INSPECTION AND STAKING SHALL BE BY THE CITY OF MESA.
3. THE CONTRACTOR SHALL NOTIFY THE CITY OF MESA INSPECTION DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF ANY CONSTRUCTION. STAKING REQUESTS SHALL COMPLY WITH SECTION 105 OF THE UNIFORM STANDARD SPECIFICATIONS (TWO (2) WORKING DAYS NOTICE).
4. CONTRACTOR TO OBTAIN ANY PERMITS REQUIRED UNLESS OTHERWISE INDICATED, AND COORDINATE ALL DRY-UPS, RESETS AND REMOVAL BY OTHERS.
5. THE CONTRACTOR IS ADVISED THAT AN EXCAVATION AND DIRT MOVING PERMIT IS REQUIRED BY THE MARICOPA COUNTY HEALTH DEPARTMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THIS PERMIT AND COMPLY WITH ITS REQUIREMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING UTILITIES AND AVOIDING DAMAGE TO SAME. CALL 263-1100 FOR BLUE STAKES. FOR SALT RIVER POWER DISTRICT POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING, CALL 273-8888.
7. CONTRACTOR SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING AS PER CURRENT CITY OF MESA "TRAFFIC BARRICADING MANUAL".
8. BACKFILL MATERIAL ADJACENT TO THE CITY OF MESA GAS PIPE SHALL BE FREE FROM MATERIAL INJURIOUS TO THE PIPE OR COATING. WHEN INJURIOUS MATERIALS ARE ENCOUNTERED, PAD THE PIPE WITH AT LEAST 4-INCHES OF FINE (3/8-INCH AND SMALLER SCREENINGS) AGGREGATE MATERIAL. SCREENINGS LARGER THAN 3/8-INCH ARE CONSIDERED INJURIOUS MATERIAL TO THE COATING.
9. WHEN GAS MAIN AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT 834-2754 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO THE BACKFILLING OF THE TRENCH.
10. ALL NOTES IN DASHED BOXES INDICATE WORK TO BE DONE BY THE CITY OF MESA.
11. WATER METER BOXES IN CONFLICT WITH NEW CONSTRUCTION WILL BE RELOCATED TO PROPERTY LINE BY CITY FORCES.
12. THE CONTRACTOR AND CITY OF MESA UTILITY AND TRAFFIC CREWS SHALL COORDINATE WORK SCHEDULES SO AS TO PREVENT ANY CONFLICTING WORK CONDITIONS.
13. CONTRACTOR TO NOTIFY DOWD KNOX, STREET DEPARTMENT, AT 834-2160 PRIOR TO SIGN REMOVAL AND WHEN READY TO PERMANENTLY RELOCATE SIGN.
14. CONTRACTOR TO COORDINATE ALL OR ANY SEWER SERVICES, DRIVEWAY LOCATIONS, AND REMOVAL OR RESETS OF PRIVATE PROPERTY ON ALL STREETS WITH OWNERS AND CITY INSPECTOR.
15. PRIOR TO START OF CONSTRUCTION ON PRIVATE PROPERTY (EASEMENTS) THE CONTRACTOR WILL GIVE THE OWNER (IF IN RESIDENCE) SUFFICIENT TIME (MINIMUM 24-HOURS) TO REMOVE ITEMS HE WISHES TO. THE CONTRACTOR WILL ARRANGE TO REMOVE AND REPLACE ALL OTHER CONFLICTS AS REQUIRED.
16. WORK WITHIN THE MARICOPA COUNTY RIGHT-OF-WAY WILL REQUIRE A COUNTY HIGHWAY DEPARTMENT PERMIT. THE CONTRACTOR SHALL OBTAIN SUCH PERMIT AND PAY ANY RELATED COSTS PRIOR TO COMMENCING WORK.
17. CONTRACTOR TO POTHOLE EXISTING UTILITIES AHEAD OF HIS CONSTRUCTION, TO ALLOW FOR ANY NECESSARY ADJUSTMENT IN GRADELINE.
18. WATER LINE TEST WILL BE COMPLETED SO THAT NO OLD LINES WILL BE INCLUDED IN THAT TEST. A NIGHT TIE-IN (BETWEEN 12:00 AND 6:00 A.M.) MAY BE NECESSARY IF REQUIRED BY CITY INSPECTOR.
19. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY FITTINGS AND ADAPTORS REQUIRED TO CONNECT DIFFERENT TYPES OF WATER LINE MATERIAL. THE COST IS TO BE INCLUDED IN HIS PER FOOT BID.
20. ALL VALVES TO BE INSTALLED WITH VALVE BOX AND COVERS PER DETAIL 391-1 (TYPE "C") OR DETAIL 391-2, IF 2" OPERATING NUT IS OVER 5' BELOW EXISTING CENTER LINE GRADE.
21. THE CONTRACTOR SHALL COMPLY WITH ALL THE REQUIREMENTS AS INDICATED ON THE CITY OF MESA DETAIL M-58 WHEN TRENCHING FOR THE WATER LINE WHERE A GAS MAIN IS TO BE INSTALLED IN THE SAME TRENCH.
22. CONTRACTOR TO INSTALL 4" SEWER SERVICE AS PER DETAIL 440 AT THE LOCATIONS SHOWN AND MARKED ON THE PLANS.
23. ALTERNATE SEWER PIPE MAY BE P.V.C. OR TRUSS PIPE. SEE SECTIONS 744 AND 745 OF U.S.S. AND MANUFACTURERS RECOMMENDATION FOR THESE MATERIALS.
24. WHEN A SLEWER CROSSES BELOW A WATER LINE WITH LESS THAN TWO (2) FEET OF SEPARATION OR WHEN A SEWER CROSSES OVER A WATER LINE, ENCASEMENT IS REQUIRED PER DETAIL 404.
25. ALL SEWER MANHOLES SHALL BE CONSTRUCTED PER DETAIL 420. MANHOLES OVER TEN (10) FEET DEEP SHALL BE 5 FOOT INSIDE DIAMETER.
26. ALL SEWER CLEANOUTS SHALL BE CONSTRUCTED PER DETAIL 441.
27. THE FOLLOWING DETAILS, IN ADDITION TO THOSE NOTED SPECIFICALLY ON THE PLANS, APPLY TO THIS JOB: DETAIL 427 (PLUG).



1. ALL  
 2. 10'

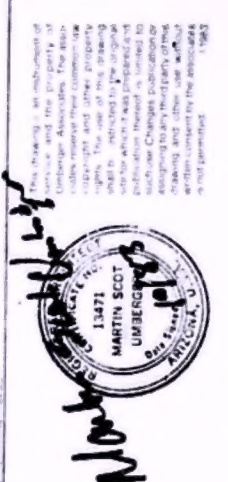
1. 10'



<b>TIBSHRAENY</b> <b>SHOW BIZ PIZZA INC.</b>		<b>SEWER PROFILE</b>	
Date <u>16 SEPT 83</u> Designed <u>J.P.</u> Drawn <u>S.R.M.</u> Checked <u>J.P.</u> Revised <u>SWD</u>		<b>Franzoy, Corey &amp; Associates</b> Consulting Engineers 1030 E. Guadalupe Road Tempe, Arizona 85283 602-838-8626	<b>C3</b>



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**SHOWBIZ PIZZA PLACE**  
856 S. ALMA SCHOOL RD.  
S-M PIZZA INC. STORE NO. 2  
2990 E. NORTHERN AVENUE - SUITE 100C  
PHOENIX, ARIZONA

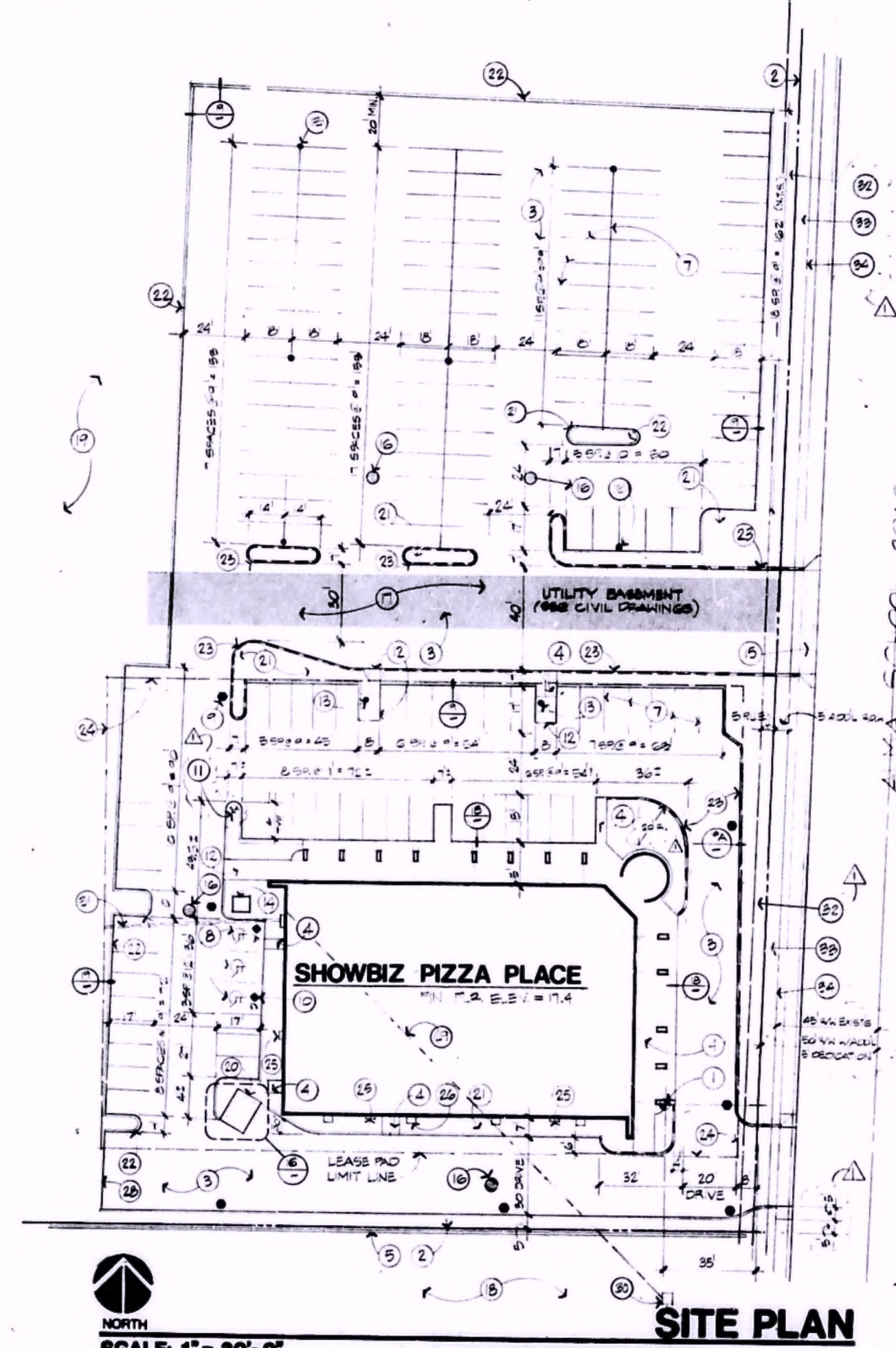
**UMBERGER ASSOCIATES**  
LAND PLANNING-ARCHITECTURE-SCULPTURE

DATE: 10.15.87  
JOB NO: 8802  
PROJECT MGR: BSC  
DRAWINGS BY: AC  
REVIEWED BY:  
**A-1**

# NOTES

1. BUILDING LAYOUT POINT
2. PROPERTY LINE (C.B. LOCATION)
3. 2" ASPHALTIC CONCRETE ON 4" MINIMUM A.B.C. (TYPICAL U.N.O.)
4. 4" CONCRETE SIDEWALK ON 4" MINIMUM A.B.C.
5. EXISTING 6" HIGH C.M.U. FENCE TO REMAIN
6. EXISTING CURB, GUTTER AND SIDEWALK
7. 4" WIDE PAINTED PARKING STRIPES (WHITE)
8. 12' WIDE HANDICAP PARKING STALL WITH PAINTED SYMBOL
9. 5' WIDE LANE - SEE DET. 11, 14, 17
10. HANDICAP SIGN - SEE DET. 12
11. SIAMSE FIRE DEPARTMENT CONNECTION TO SPRINKLERS--SEE PLUMBING DRAWINGS (REMOTE CONN.)
12. LAMP CONCRETE TO MEET A/C FOR HANDICAP ACCESS. 1:20 SLOPE MAX.
13. LOCATION OF PARKING LOT LIGHTING STANDARD
14. TRANSFORMER PAD LOCATION AND SIZE AS PER SRP.
15. NP DRIVEWAY AND APRON (SEE CIVIL DRAWINGS)
16. DRYWELL LOCATIONS (SEE CIVIL DRAWINGS)
17. UTILITIES EASEMENT IN DRIVE TO BE DEDICATED TO CITY (SEE CIVIL DRAWINGS)
18. EXISTING APARTMENT COMPLEX
19. FUTURE NEIGHBORHOOD RETAIL CENTER
20. REFUSE AREA W/ LANDSCAPE SCREEN
21. PLANTING AREA
22. 6" HIGH EXTRUDED CONCRETE CURB
23. 6" HIGH VERTICAL CONCRETE CURB
24. LEASE PAD LIMIT LINE
25. BUILDING MTD. AREA LIGHT (SHARP CUTOFF) - SEE ELEVATIONS
26. SPLASH BLOCKS & DOWNSPOUTS (4)
27. 2" x 8" REDWOOD HEADER WITH 2" x 2" STAKES @ 6'-0" O.C. AT EDGE OF ASPHALT
28. 2" x 8" REDWOOD HEADER WITH 2" x 2" STAKES @ 6'-0" O.C. AT EDGE OF ASPHALT
29. 1" x 4" x 8" REDWOOD POSTS @ 6'-0" O.C. (SEE ELEVATIONS) (MOUNTAIN SHELTER COMPANY) (295-7210)
30. 1" x 4" x 8" REDWOOD POSTS - VERY LOCATION
31. LIGHT AS SHOWN - 2" x 2" x 2" C.O.D. - UNDER PAVEMENT FOR PLANT LIGHTING
32. NEW 5' PUBLIC UTILITY EASEMENT
33. ADDITIONAL 5' F.O.W. DEDICATION
34. OLD PROPERTY LINE LOCATION

AN APPROVED ADDRESS SHALL BE LOCATED ON BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE & LEGIBLE FROM ALMA SCHOOL ROAD.



**SITE PLAN**



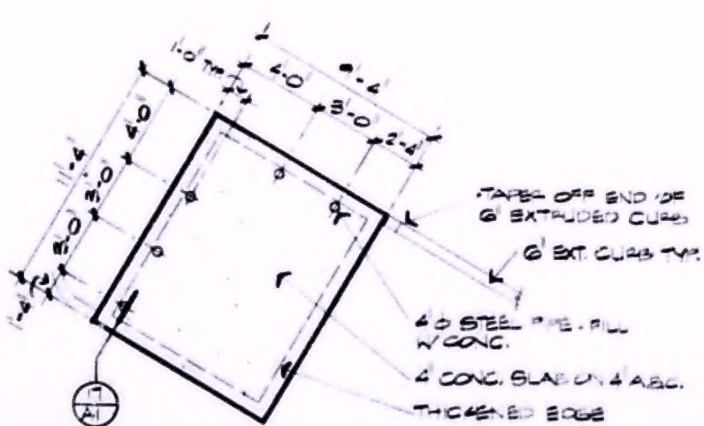
**11 FIRE LANE SIGN DETAIL**



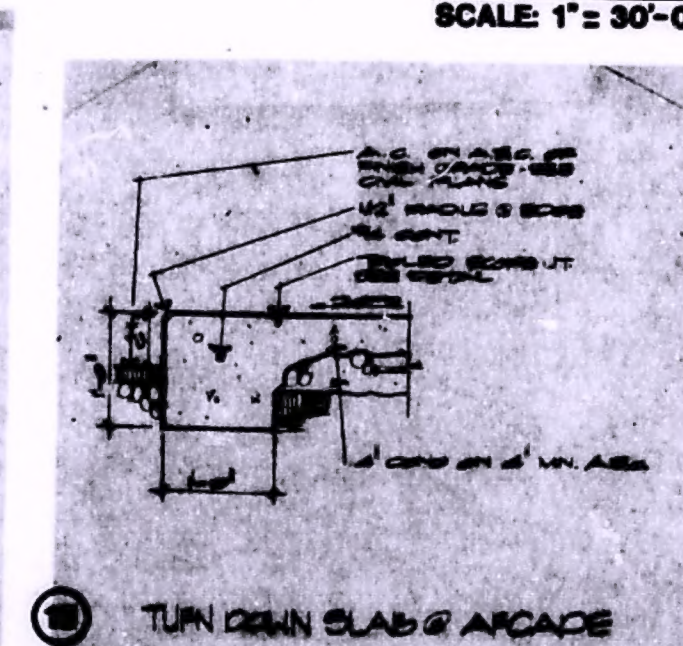
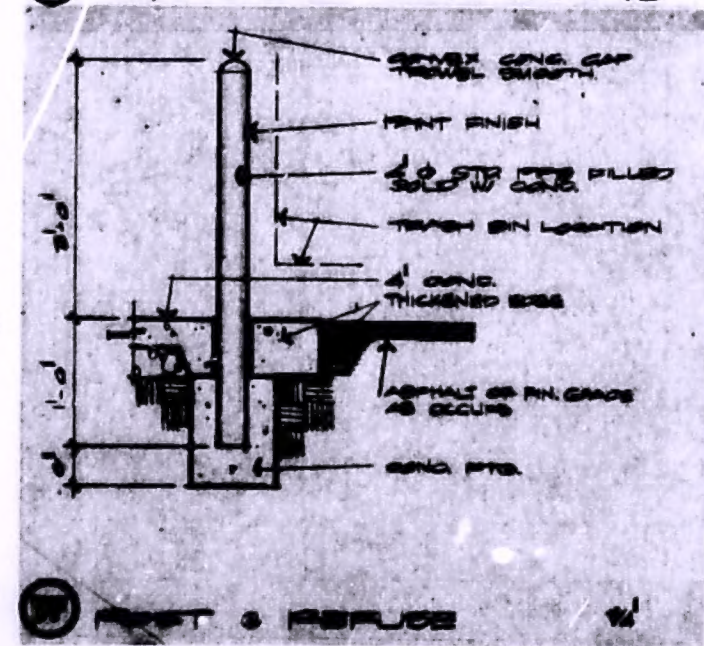
**12 HANDICAP SIGN DETAIL**

- NOTES:
- 11 The bottom of the sign should be no less than 30 inches and no more than 54 inches above finish grade.
  - 12 Signs should be properly centered within the parking space.
  - 13 The sign face should be located no farther than 6 feet from the front of each parking space.
- NOTE: SIGN LOCATIONS ARE INDICATED ON THE SITE PLAN BY THIS SYMBOL:
- KEY TO ARROW TYPES:
- A
  - B
  - C

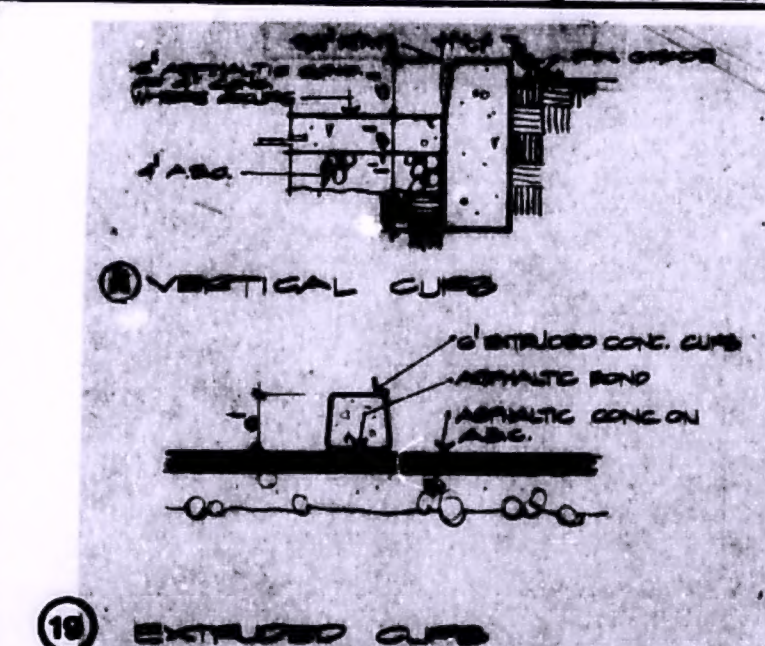
SIGN SHALL MEET REQUIREMENTS OF CITY OF MESA ORDINANCE No. 1708.



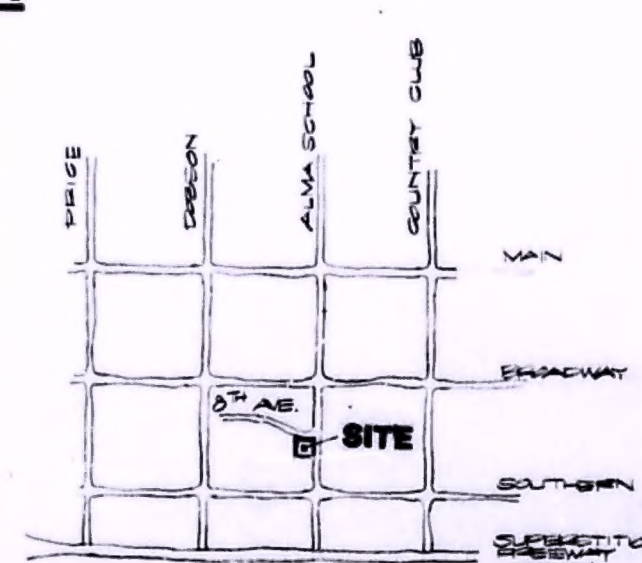
**16 PLAN @ REFUSE ENCLOSURE**



**17 TURN DOWN SLAB @ ARCADE**



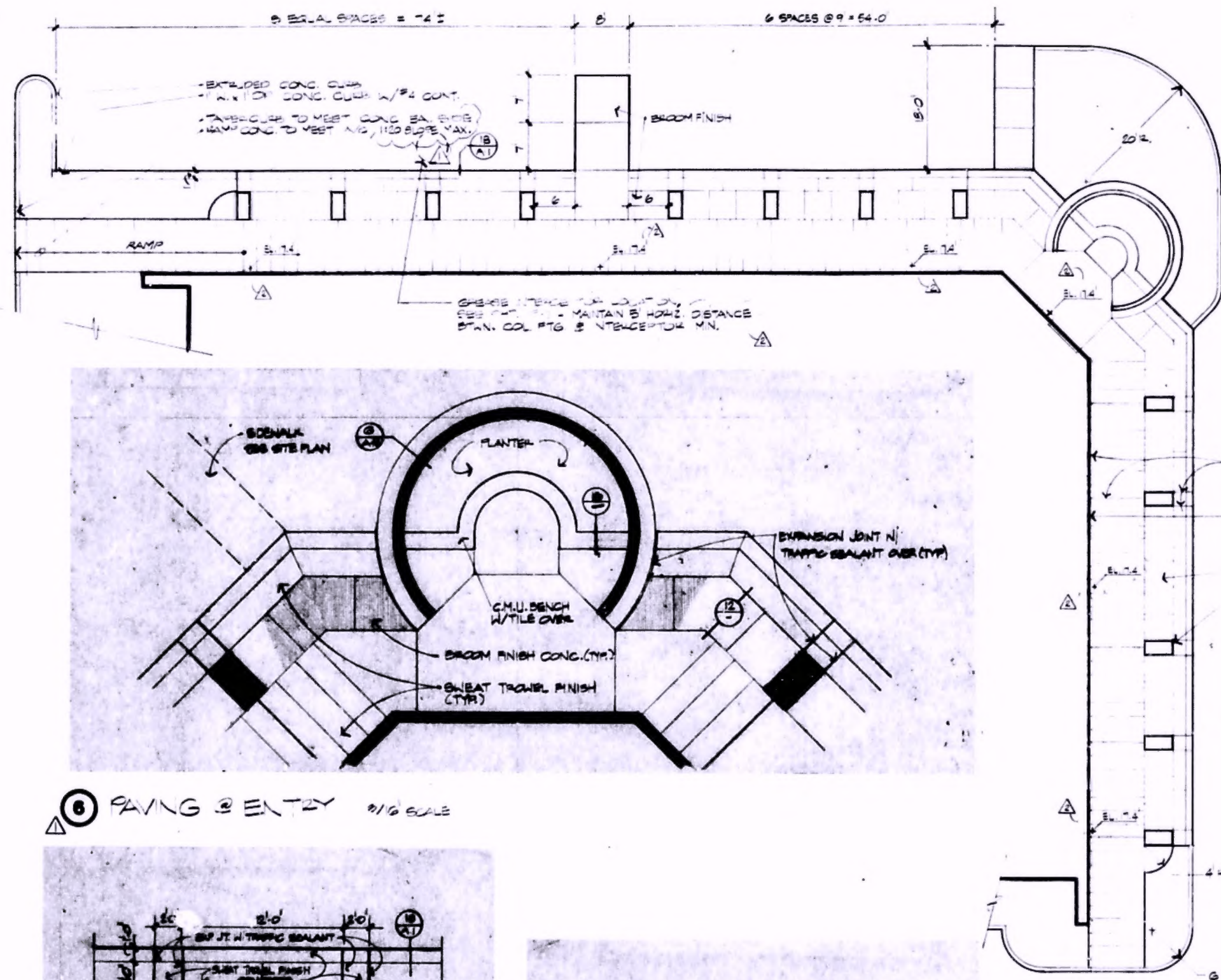
**18 EXTRUDED CURB**



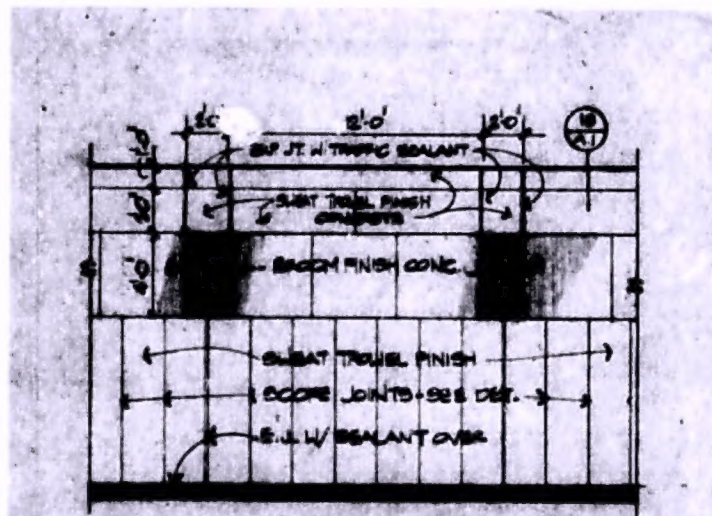
**VICINITY MAP**



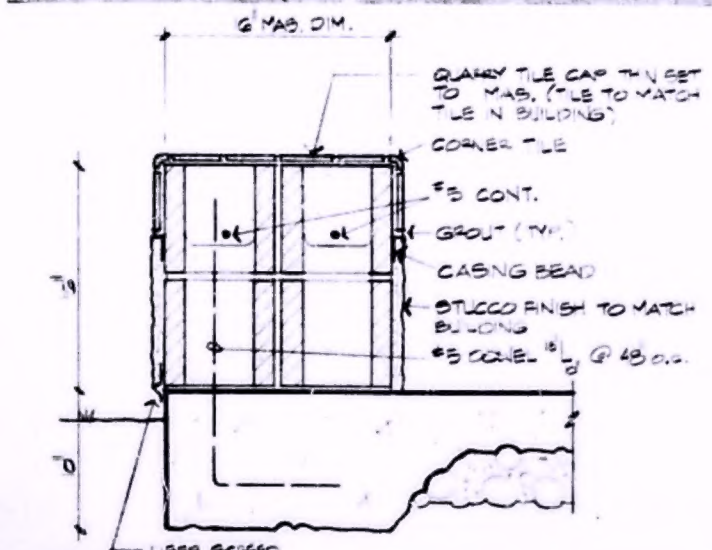




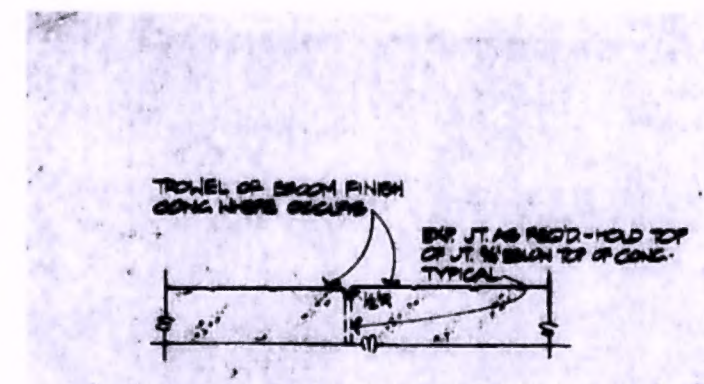
⑥ PAVING @ ENTRY 1/16 SCALE



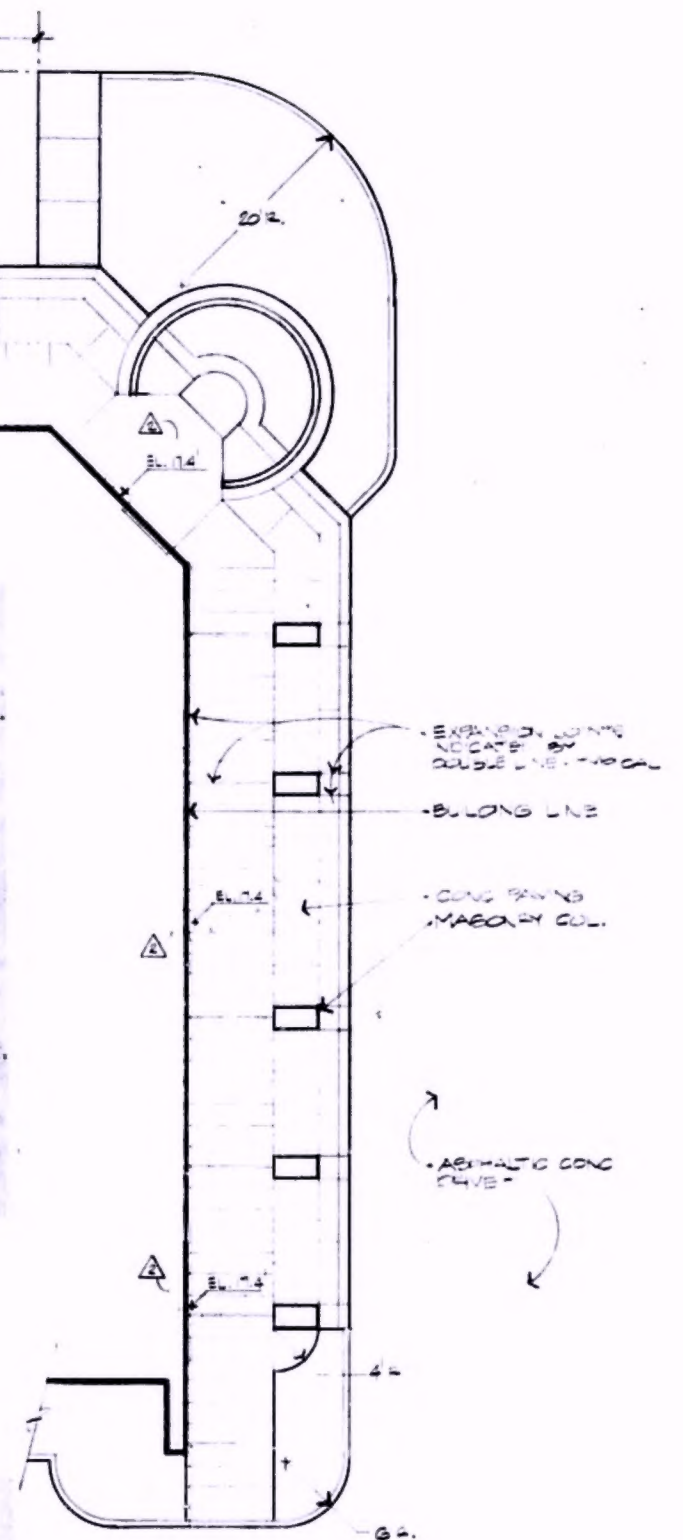
⑦ TYPICAL COLONNADE PAVING 1/16 SCALE



⑩ BENCH DETAIL



⑪ CONCRETE SCORE JOINT NO SCALE

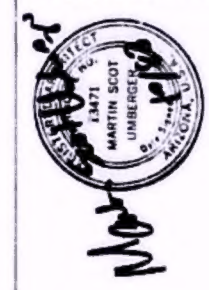


**HARDSCAPE PLAN**  
NORTH  
1/16 SCALE

- WALL & PARTITION SCHEDULE**
- GENERAL NOTES:**
- ALL PARTITION TYPES ARE SHOWN FOR BASIC CONSTRUCTION OF PARTITIONS; SEE FINISH SCHEDULE, ELEVATIONS, DETAILS, ETC., FOR FINISHES, APPLIED PANELS, BLOCKING, ETC. PARTITION TYPES SHOWN IN PLAN VIEW.
  - PARTITION TYPES ARE INDICATED ON THE FLOOR PLANS. THIS INDICATION SIDE ON FLOOR PLANS CORRESPONDS TO INDICATION SIDE ON SCHEDULE.
  - WATER RESISTANT GYPSUM BOARD SHALL BE USED AS THE SUBSTRATE FOR ALL PARTITIONS TO RECEIVE FIBERGLASS REINFORCED PANELS (F.R.P.) OR TILE (INCLUDING QUARRY TILE BASE).
  - DIMENSIONS ON PLAN ARE TO CENTER OF WALL UNLESS NOTED OTHERWISE. OTHER NOTATIONS MAY INCLUDE:  
F.O.M. - FACE OF MASONRY  
F.O.S. - FACE OF STUD  
F.G.B. - FACE OF GYPSUM BOARD
  - SEE PARTITION BRACING AND HEAD DETAILS FOR ADDITIONAL INFORMATION.
  - F.R.P. PANELS SHALL BE MARBLE CLASS A/1 FOR PANELS W/ FLAME SPREAD RATING OF 10, & SMOKE DEVELOPED RATING OF 20.
- TYPE A**
- 8" C.M.U. EXTERIOR WALL - SEE ELEVATIONS FOR HEIGHT.
  - 1 1/2" STYRO STUD INSULATION WITH METAL FURRING CHANNEL FULL HEIGHT.
  - EXTERIOR FINISH WHERE OCCURS - SEE ELEVATIONS.
  - GYP. BD. TO 6" ABOVE ADJ. C.G.
- TYPE B**
- 6" X STD. GA. METAL STUDS @ 16" O.C.
  - STUD TRACK ABOVE AND BELOW.
  - 5/8" GYPSUM BOARD EACH SIDE
- Note: Wall to extend to 6" above highest adjacent ceiling - See reflected ceiling plan.
- TYPE C**
- SAME AS TYPE 'B' BUT PARTITION CONTINUES FULL HEIGHT TO UNDERSIDE OF STRUCTURE - SEE PARTITION HEAD DETAIL. STUDS IN FULL HEIGHT. PARTITIONS SHALL BE 20 GAUGE.
- TYPE D**
- SAME AS TYPE 'C', EXCEPT ADD 3/4" SOUND ATTENUATION BLANKETS FULL HEIGHT.
- TYPE E**
- SAME AS TYPE 'C', EXCEPT ADD R-19 BATT INSULATION FULL HEIGHT.
- TYPE F**
- 3-5/8" X STD. GA. METAL STUDS @ 16" O.C.
  - STUD TRACK ABOVE AND BELOW.
  - 5/8" GYPSUM BOARD EACH SIDE.
- Note: Wall to extend to 6" above highest adjacent ceiling - See reflected ceiling plan.
- TYPE G**
- SAME AS 'F', BUT WITH 3/4" SOUND ATTENUATION BLANKETS FULL HEIGHT OF PARTITION.
- TYPE H**
- SAME AS 'F', EXCEPT GYPSUM BOARD ON EXPOSED SIDE ONLY.
- TYPE J**
- SAME AS 'F', BUT PARTITION CONTINUES FULL HEIGHT TO UNDERSIDE OF STRUCTURE - SEE PARTITION HEAD DETAIL. STUDS IN FULL HEIGHT PARTITIONS SHALL BE 20 GAUGE.

- TYPE K**
- SAME AS 'J', BUT ADD 3/4" SOUND ATTENUATION BLANKETS FULL HEIGHT.
- TYPE L**
- TWO LAYERS 5/8" GYPSUM BOARD EACH SIDE, STAGGER JOINTS.
  - 3-5/8" X 20 GAUGE METAL STUDS @ 16" (DOUBLE STUD WALL) STAGGERED IN 6" WIDE STUD TRACK TOP AND BOTTOM - PARTITION FULL HEIGHT TO UNDERSIDE OF STRUCTURE.
  - 3/4" SOUND ATTENUATION BLANKETS FULL HEIGHT - WEAVE BETWEEN STUDS.
  - FASTEN INSIDE LEG OF STUD TO TRACK WITH STRAP ANGLE @ EACH STUD.
- Note: Caulk perimeter and around all penetrations by pipes, conduits, etc., both layers each side. Set bottom track in bead of sealant. Back to back electrical penetrations shall be staggered 16" min.
- TYPE M**
- ONE LAYER 5/8" GYPSUM BOARD BOTH SIDES.
  - STUD TRACK ABOVE AND BELOW.
  - 3/4" SOUND ATTENUATION BLANKETS FULL HEIGHT.
  - 6" X 20 GAUGE METAL STUDS @ 16" O.C. FULL HEIGHT TO UNDERSIDE OF STRUCTURE.
- Note: See Note, Partition Type 'L' above.
- TYPE P**
- ONE LAYER 5/8" WATER RESISTANT GYPSUM BOARD EACH SIDE OVER 1/2" FIRE RETARDANT TREATED PLYWOOD.
  - 3-5/8" STUDS X STD. GAUGE @ 16" O.C. EACH WALL (DOUBLE STUD WALL).
  - STUD TRACKS ABOVE AND BELOW.
  - 3/4" SOUND ATTENUATION BLANKETS EACH SIDE.
  - 8" SQ. X 1/4" F.R. PLYWOOD BRACES @ 3'-0" O.C. VERT.
- Note: Partition to extend 6" above highest adjacent ceiling.

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PHOENIX, ARIZONA

**UNBERGER ASSOCIATES**  
LAND PLANNING-ARCHITECTURE-LANDSCAPE ARCHITECTURE  
815 EAST CAMELBACK ROAD SUITE 305 PHOENIX, ARIZONA 85014 • (602) 264-2817

DATE: 01/25/88  
JOB NO: 2824  
PROJECT MGR: EAC  
DRAWINGS BY: MC  
REVIEWED BY: MC  
REVISION DATES





# SHOWBIZ PIZZA PLACE

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PHOENIX, ARIZONA

UNBERGER ASSOCIATES  
LAND PLANNING ARCHITECTURE-LANDSCAPE ARCHITECTURE

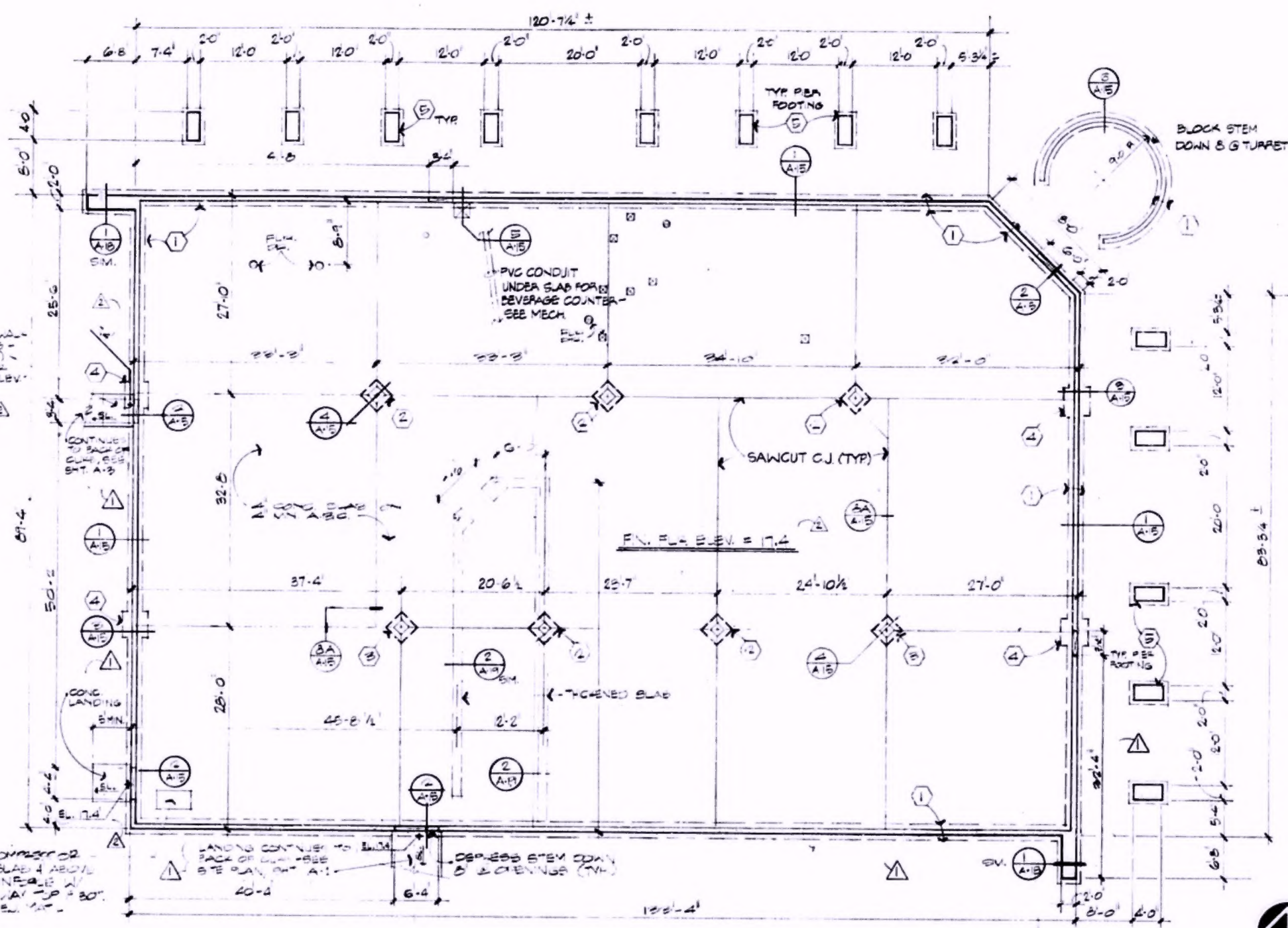
PHOENIX, ARIZONA 85014 (602) 364-2617

DATE: 10/18/88  
JOB NO: 88-04  
PROJECT MGR: SMC  
DRAWN BY: CSE/MD  
REVIEWED BY: \_\_\_\_\_  
REVISION DATES

A-3

FOOTING SCHEDULE					
MARK	FTS. SIZE (WxHxL)	REINFORCING	COL. SIZE	BASE PLATE	DEPTH BELOW GRADE
1	16" W x 8" THK	1-#4 CONT.	—	—	24" SEE NOTE 2SL
2	5.9" EQ. x 10" THK	6-#5 90° WY	4-#5 90° WY	1/2" x 1/2" x 1/2"	—
3	5.9" EQ. x 10" THK	6-#5 90° WY	4-#5 90° WY	1/2" x 1/2" x 1/2"	—
4	4.0" EQ. x 10" THK	4-#5 90° WY	—	—	—
5	2.6" x 4.3" x 10" THK	3-#5 90° WY	—	—	—

NOTE: ALLOWABLE BEARING ON UNDISTURBED  
NAT'L SUBSOIL IS 2.4 KIP/FT<sup>2</sup> ON GRADE = 2000 PSF  
SEE SOIL REPORT BY THOMAS-HARTIG  
4/28/88 FOR CALCULATIONS



FLOOR PLAN KEY  
1. FLOOR PLAN W/ SURFACE GRADE  
FOR BLOCK VARIATION - SEE 2  
2. RECESSED EX. FLOOR SLAB FOR  
EQ. 4 & 5. COL. ELEV. GRADE -  
LOCATE & FACT ELEV. OF EX. 4  
BEING BEAVED. POINT ELEV. =  
FLOOR - 1.11  
\* SEE PLUMBING ELEV. FOR ADD. INFO

NOTE: LANDINGS FOR EXTERIOR DOORS  
ON THE NORTH, NORTHEAST, & EAST SIDES  
OF BUILDING WILL BE PROVIDED BY  
CONTINUOUS PEDESTALIAN WALKWAY.  
SEE PARAPET PLAN, SHEET A-2.  
WALKWAY FINISH ELEV. SHALL EQUAL  
FIN. FLOOR ELEV. OF 7.4 IN ALL EXTERIOR  
DOOR OPENINGS (3). SEE SHEET A-2  
FOR EX. 10 ELEV. & WALKWAY.

## GENERAL STRUCTURAL NOTES

- ALL DESIGN AND CONSTRUCTION WORK FOR THIS PROJECT SHALL CONFORM TO THE UNIFORM BUILDING CODE (UBC).
- FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE THE WORK SHOWN OR IMPLIED BY THESE DRAWINGS.
- DESIGN LOADS:
  - ROOF AREA:
    - DEAD LOAD . . . . . 20 PSF
    - MECHANICAL EQUIPMENT . . . . . 15 PSF
    - WIND (ON VERTICAL PROJECTION) . . . . . 15 PSF
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE PLANS, AND FOR COORDINATING ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THOSE SHOWN ON THE ARCHITECTURAL AND MECHANICAL DRAWINGS. IF ERRORS OR DISCREPANCIES IN THE DIMENSIONS OCCUR, IT SHALL BE THE SUPERINTENDENT'S RESPONSIBILITY TO BRING THE DISCREPANCY TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EMBEDDED ITEMS NOT SHOWN HEREIN AND TO VERIFY SIZE AND LOCATION OF ALL OPENINGS.
  - REFERENCE ELEVATIONS:
    - ELEVATION OF 0'-0" EQUALS FINISH FLOOR ELEVATION (TOP SLAB) ON ARCHITECTURAL AND STRUCTURAL DRAWINGS.
  - FOUNDATIONS:
    - SOILS REPORT PREPARED BY THOMAS-HARTIG AND ASSOCIATES, INC., JOB NO. 83-695 IS AVAILABLE FOR INSPECTION AT THE OFFICES OF THE GENERAL CONTRACTOR. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE REPORT PRIOR TO BIDDING.
    - SPREAD FOOTINGS ARE DESIGNED TO BEAR ON COMPACTED STRUCTURAL FILL OR ON-SITE SOIL CAPABLE OF SUSTAINING 20 PSF BEARING PRESSURE. ALL FOUNDATION BEARING MATERIAL SHALL BE INSPECTED AND APPROVED BY A SOILS ENGINEER PRIOR TO PLACING CONCRETE. IF SUITABLE BEARING CAPACITY IS NOT ENCOUNTERED AT THE ELEVATION INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
    - REFERENCE THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - CONCRETE:
    - ALL CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE STANDARD BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-77).
    - MATERIALS SHALL COMPLY WITH:
      - CEMENT-ASTM C150 TYPE 1.
      - AGGREGATE-ASTM C33 REFERENCE SPECIFICATIONS FOR SIZE REQUIREMENTS.
      - WATER-POUTABLE.
    - CONCRETE SHALL DEVELOP THE FOLLOWING 28 DAY MINIMUM COMPRESSIVE STRENGTHS:
      - FOUNDATION AND INTERIOR SLAB ON GRADE . . . . . 2500 PSI
      - EXTERIOR SLABS AND CURBS . . . . . 3000 PSI

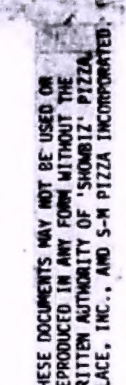
- CONTRACTOR SHALL SUBMIT THREE (3) COPIES OF THE MIX DESIGN FOR REVIEW. CONCRETE MIXES SHALL BE DESIGNED AND TESTED BY A TESTING LABORATORY. THE MIX DESIGN SHALL ESTABLISH THE QUANTITY OF ALL INGREDIENTS, INCLUDING WATER TO PRODUCE CONCRETE OF THE REQUIRED STRENGTH AND SLUMP.
- CAST CLOSURE POUR AROUND COLUMNS AFTER COLUMN DEAD LOAD IS APPLIED.
- MAXIMUM SLUMP 4".
- REFERENCE THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- REINFORCING STEEL:
  - ASTM A615 (Fy = 60,000 PSI) DEFORMED BARS FOR ALL BARS #6 AND LARGER. ASTM A615 (Fy = 40,000 PSI) DEFORMED BARS FOR ALL BARS #5 AND SMALLER. WELDED WIRE FABRIC PER ASTM A185, WIRE PER ASTM A82. LATEST AISC CODE AND DETAILING MANUAL APPLY. CLEAR CONCRETE COVERAGES AS FOLLOWS:
    - CAST AGAINST AND PERMANENTLY EXPOSED TO AIR: . . . . . 3" EXPOSED TO EARTH OR WEATHER
    - #6 AND LARGER . . . . . 2" #5 AND SMALLER . . . . . 1 1/2"
    - COLUMNS (TO TIES) . . . . . 1 1/2" BEAMS (TO STIRRUPS) . . . . . 1 1/2"
    - ALL OTHERS PER LATEST EDITION OF ACI 318.
  - ALL EXTERIOR WALLS SHALL HAVE #5 VERTICAL BARS AT WALL CORNERS, WALL INTERSECTIONS, JAMBS OR WALL OPENINGS, AND AT INTERVALS NOT TO EXCEED 4'-0" O.C. ALL REINFORCING BARS TO BE GROUTED SOLID IN BLOCK CELLS.
  - SHOP DRAWINGS OF ALL REINFORCING STEEL SHALL BE SUBMITTED FOR APPROVAL. ALL SHOP DRAWINGS SHALL GIVE COMPLETE BENDING DETAILS AND SCHEDULE LIST FOR REINFORCING BARS REQUIRED. DETAILS SHALL CONFORM TO ACI AND CRSI STANDARDS AND PRACTICES.
  - REFERENCE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CAST-IN-PLACE CONCRETE-EXECUTION
  - AT ALL OPENINGS IN CONCRETE WALLS AND SLABS, ADD 2-#5 BARS (OPENING DIMENSION PLUS 60 BAR DIAMETERS LONG) AT EACH OF FOUR SIDES AND ADD 2 #5 x 5'-0" DIAGONALLY AT EACH OF FOUR CORNERS. THE UNIT OF POUR FOR FOUNDATION WALLS AND FOOTINGS SHALL NOT EXCEED 60 LINEAR FEET IN ANY DIRECTION. CONSTRUCTION JOINTS SHALL BE DOWELED AND KEYS.
  - COORDINATE CONCRETE WORK WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ARCHITECTURAL FINISHED CONCRETE, RECESSED AREAS, EMBEDDED ITEMS, AND SPECIAL CONTROL JOINT PATTERNS. NO ALUMINUM ITEMS SHALL BE EMBEDDED IN CONCRETE.
  - REFERENCE THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- STRUCTURAL STEEL:
  - ALL STRUCTURAL STEEL SHALL BE ASTM A36 (Fy = 36,000 PSI).
  - ALL PIPE STEEL SHALL BE ASTM A501 (Fy = 36,000 PSI) OR ASTM A53, TYPES E OR S, GRADE B (Fy = 35,000 PSI).

- ALL TUBULAR STEEL SHALL BE ASTM A500 (Fy = 46,000 PSI).
- BOLTS SHALL BE ASTM A307 OR ASTM A325.
- ALL EXPANSION BOLTS TO BE RED HEAD PHILLIPS TYPE.
- ALL REFERENCE TO HEADED STUDS SHALL INDICATE AUTOMATIC WELDED HIGH STRENGTH HEADED STUDS (NELSON STUDS OR EQUIVALENT).
- LATEST AISC AND AWS CODES APPLY. ALL CONSTRUCTION PER LATEST AISC HANDBOOK.
- ALL WELDING BY WELDERS HOLDING VALID CERTIFICATES AND HAVING CURRENT EXPERIENCE IN TYPE OF WELD SHOWN ON THE DRAWINGS OR NOTES.
- ALL WELDING BY E70 SERIES LOW HYDROGEN RODS. ALL WELDING PER AMERICAN WELDING SOCIETY STANDARDS.
- MEMBER SPLICES (SHOP OR FIELD) WILL NOT BE PERMITTED UNLESS INDICATED ON THE DRAWINGS.
- ALL STRUCTURAL STEEL SHALL HAVE ONE SHOP COAT OF PRIMER PAINT. FIELD TOUCH UP ALL UNPAINTED AREAS AND WELD AREAS.
- REFERENCE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- MASONRY:
  - CONCRETE BLOCK SHALL BE GRADE UT IN ACCORDANCE WITH ASTM C-90, Fm = 1350 PSI. PROVIDE "DUR-O-WAL" REINFORCEMENT AT 16" O.C. IN HORIZONTAL JOINTS.
  - MORTAR: TYPE 'S' - 1800 PSI AT 28 DAYS.
  - GROUT: 2000 PSI AT 28 DAYS.
  - ROD GROUT IN VERTICAL SPACES IMMEDIATELY AFTER POURING AND AGAIN ABOUT FIVE MINUTES LATER. PROVIDE CLEAN-OUTS IF GROUT LIFT EXCEEDS 4'-0" IN BLOCK WALLS. MAXIMUM GROUT LIFT SHALL BE 8'-0".
  - UNLESS NOTED OTHERWISE ON THE PLANS, PLACE CONSTRUCTION JOINTS IN MASONRY WALLS SUCH THAT NO STRAIGHT RUN OF WALL EXCEEDS 24'-0". KEEP MASONRY WALLS SHORED DURING CONSTRUCTION UNTIL THE ROOF DECK AND FLOOR SLABS ARE IN PLACE TO PROVIDE LATERAL STABILITY.
  - VERTICAL REINFORCING:
    - IN CENTER OF GROUT AT CENTER OF WALL, CONTINUOUS FULL HEIGHTS OF WALL WITH 1 #5 AT ALL CORNERS, INTERSECTIONS, WALL ENDS, BEAM BEARINGS, JAMBS AND EACH SIDE OF CONSTRUCTION JOINTS AND AT INTERVALS NOT TO EXCEED 48" O.C. UNLESS OTHERWISE NOTED. TIE AT 8'-0" VERTICALLY, WITH SINGLE WIRE LOOP TIE BY A.A. WIRE PRODUCTS COMPANY. LAP SPLICES SHALL BE 30 BAR DIAMETERS FOR UP TO #6 BARS AND 40 BAR DIAMETERS FOR #7 BARS AND LARGER. DOWEL ALL VERTICAL REINFORCING TO FOUNDATION WITH DOWELS TO MATCH VERTICAL WALL OR COLUMN REINFORCING.

## FOUNDATION PLAN





[illegible]

856 S. ALMA SCHOOL RD.  
S-S-M PIZZA INC. STORE NO. 2  
2990 E. NORTHERN AVENUE • SUITE 10C  
PHOENIX, ARIZONA

**CYBERGER ASSOCIATES**  
LAND PLANNING ARCHITECTURE LANDSCAPE ARCHITECTURE  
815 EAST CAMELBACK ROAD SUITE 205 PHOENIX, ARIZONA 85014 • (602) 461-2617

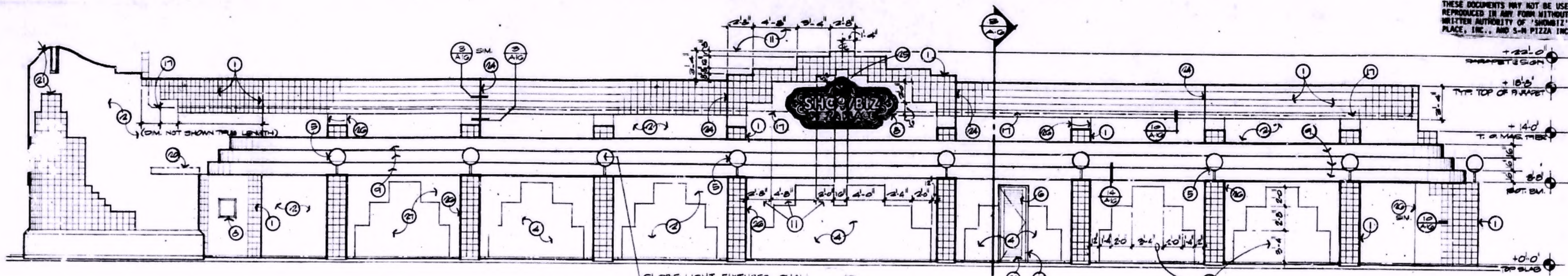
DATE: 03-28-84  
JOB NO: 9224  
PROJECT MGR: SDC  
DRAWING BY: SDC  
REVIEWED BY:  
REVISION DATES  
A 05/22/84 22

**A-4**

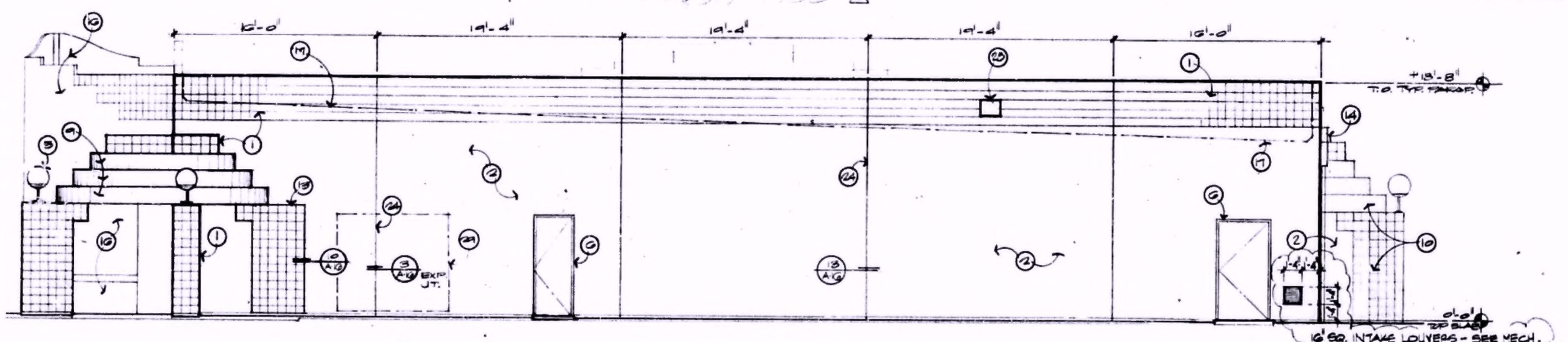
## FLOOR PLAN



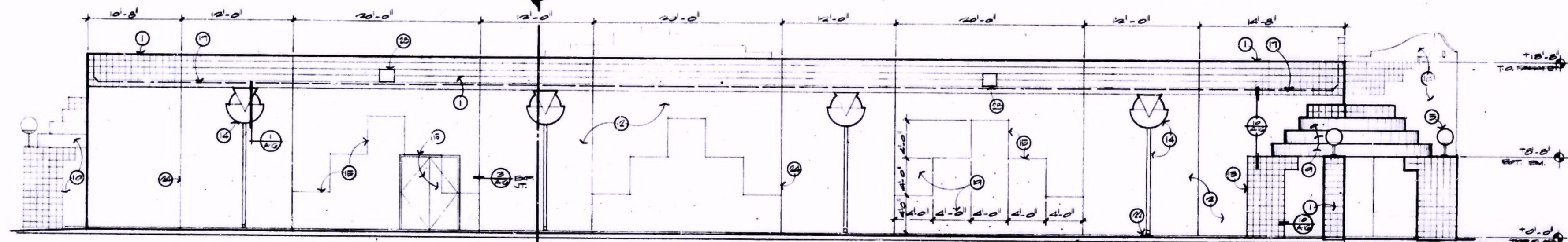
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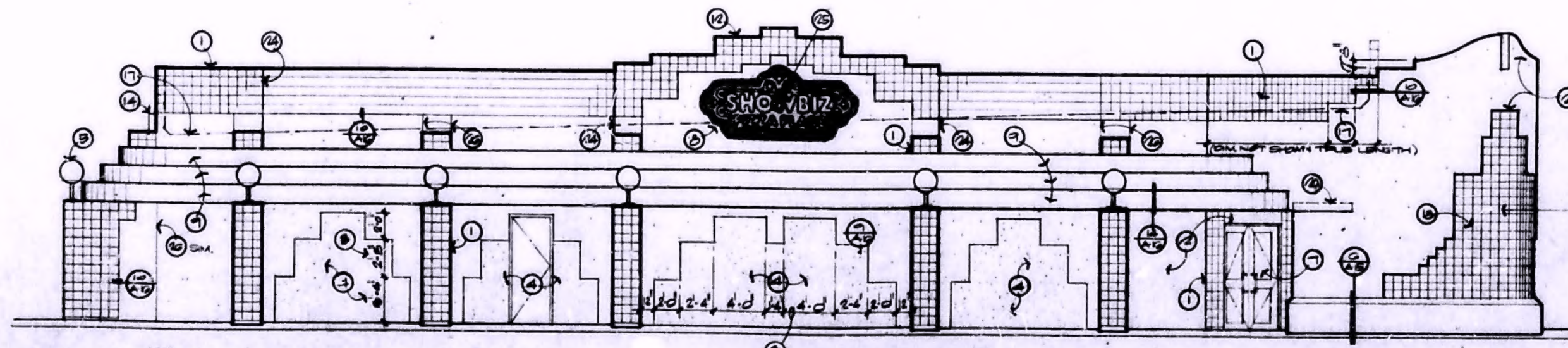
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

- NOTES**
1. EXPOSED C.M.U. WITH CENTER SCORE JOINT (SANDBLASTED).
  2. 'SAND' STUCCO FINISH ON STD. C.M.U. (TYPICAL).
  3. HORIZONTAL AND VERTICAL DIMENSION OF TYPICAL RECESS.
  4. PAINT RECESSED PANEL PASTEL ACCENT COLOR.
  5. 18" DIAMETER INCAND. 'GLOBE' FIXTURE ON WHITE POLE BASE. (SEE SPECS).
  6. H.M. DOOR IN H.M. FRAME.
  7. ALUMINUM/GLASS DOORS IN ALUMINUM FRAME.
  8. 'SHOWBIZ' SIGN BY OTHERS.
  9. 16" DEEP DECORATIVE STEEL BAND--SEE DETAILS.
  10. MRS. PIER AND STEEL BANDS BEYOND.
  11. DIMENSIONS SHOWN ARE TYPICAL FOR EACH SIGN PARAPET.
  12. SEE NORTH ELEVATION FOR PARAPET DIMENSIONS.
  13. SCORED, SANDBLASTED C.M.U. FLUSH WITH STUCCO TO MIMIC MRS. PIER SHAPE.
  14. DECORATIVE LEADER AND DOWNSPOUT (TYP. OF 4).

15. EDGE OF PAINTED ACCENT AREA (TYP.).
16. TURRET BEYOND.
17. ROOF PROFILE BEYOND SHOWN DASHED.
18. REFLECTIVE GLASS BLOCK AT TURRET.
19. TYPICAL DIMENSIONS OF PAINTED ACCENTS.
20. TOP OF CURVED WALL BEYOND AT 9'-4" SHOWN DASHED.
21. FOR DIMENSIONS OF GLASS BLOCK AND CURVED PARAPET, SEE ELEVATION DRAWING A-17.
22. PRECAST CONCRETE SPLASHBLOCK (TYP. OF 4).
23. EXTERIOR FACE OF FRAME FLUSH WITH STUCCO FINISH.
24. ROOFLINE EXPANSION JOINT WITH COMPRESSIBLE FILLER AND SEALANT WITH BACKER ROD.
25. PROVIDE J-BON IN MRS. FOR BUILDING SIGNAGE.
26. REEVE X-J-15 STUCCO CONTROL JOINT EACH SIDE OF COLUMN FROM SLAB TO BOTTOM OF SCORED BLOCK.
27. ROOFLINE GROUND-OUT PANEL TO 6'-4" A.F.F.--SEE FLOOR PLAN.
28. PLACE MITER AREA LIGHTING (SHARP CUT OFF).
29. SEE LOCATION.

**ELEVATIONS**

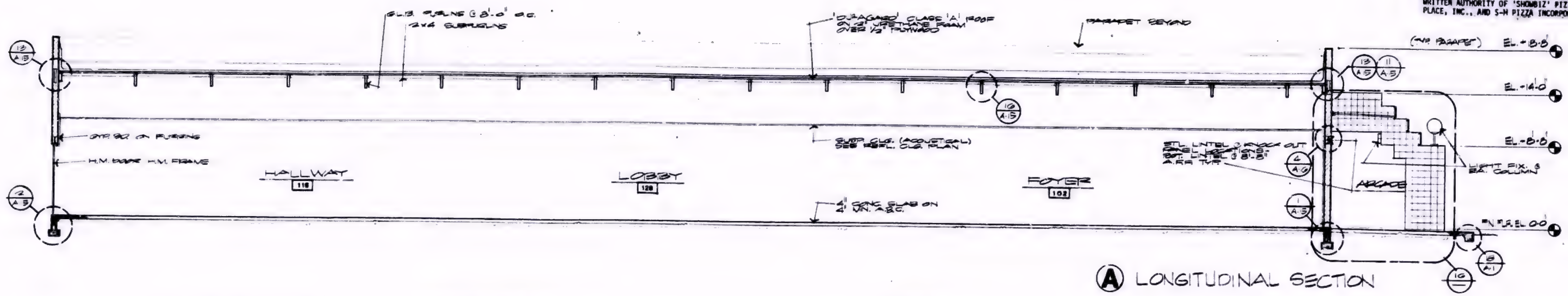
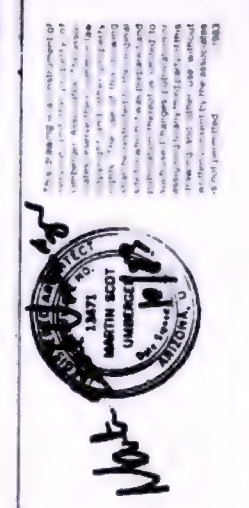
**SHOWBIZ PIZZA PLACE**

856 S. ALMA SCHOOL RD.  
S-M PIZZA INC. STORE NO. 2  
2990 E. NORTHERN AVENUE - SUITE 10C  
PHOENIX, ARIZONA

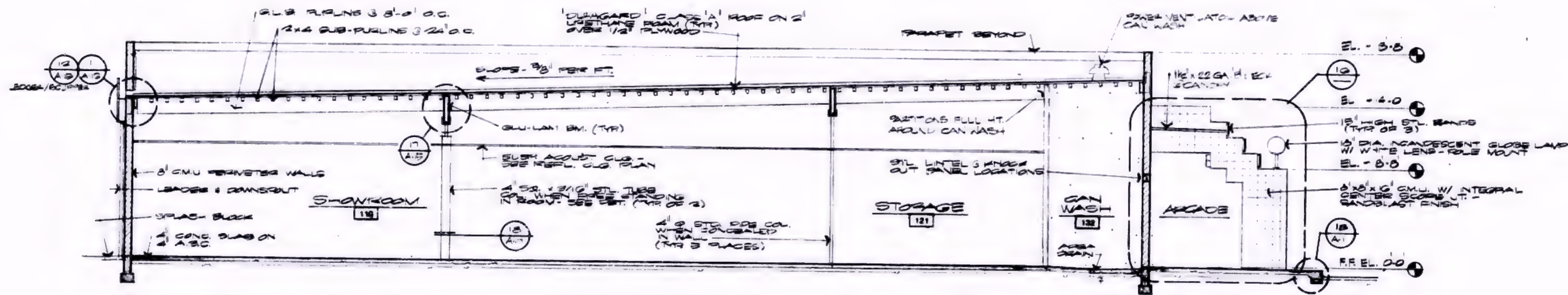
DATE: 10-19-83  
JOB NO. 28224  
PROJECT MGR: BMD  
DRAWINGS BY: 32/CS  
REVIEWED BY:  
UNBERGER ASSOCIATES  
LAND PLANNING-ARCHITECTURE



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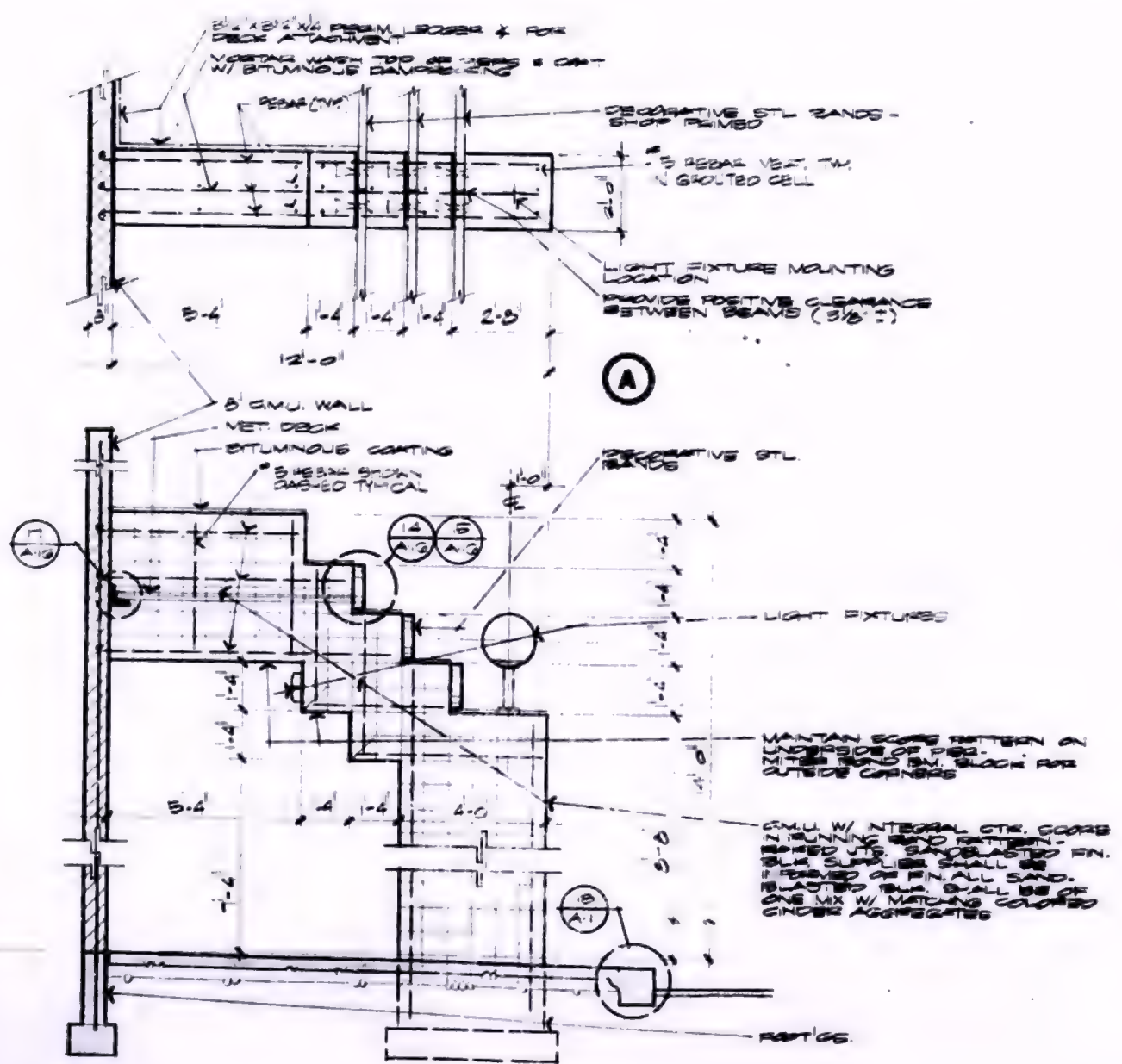


(A) LONGITUDINAL SECTION

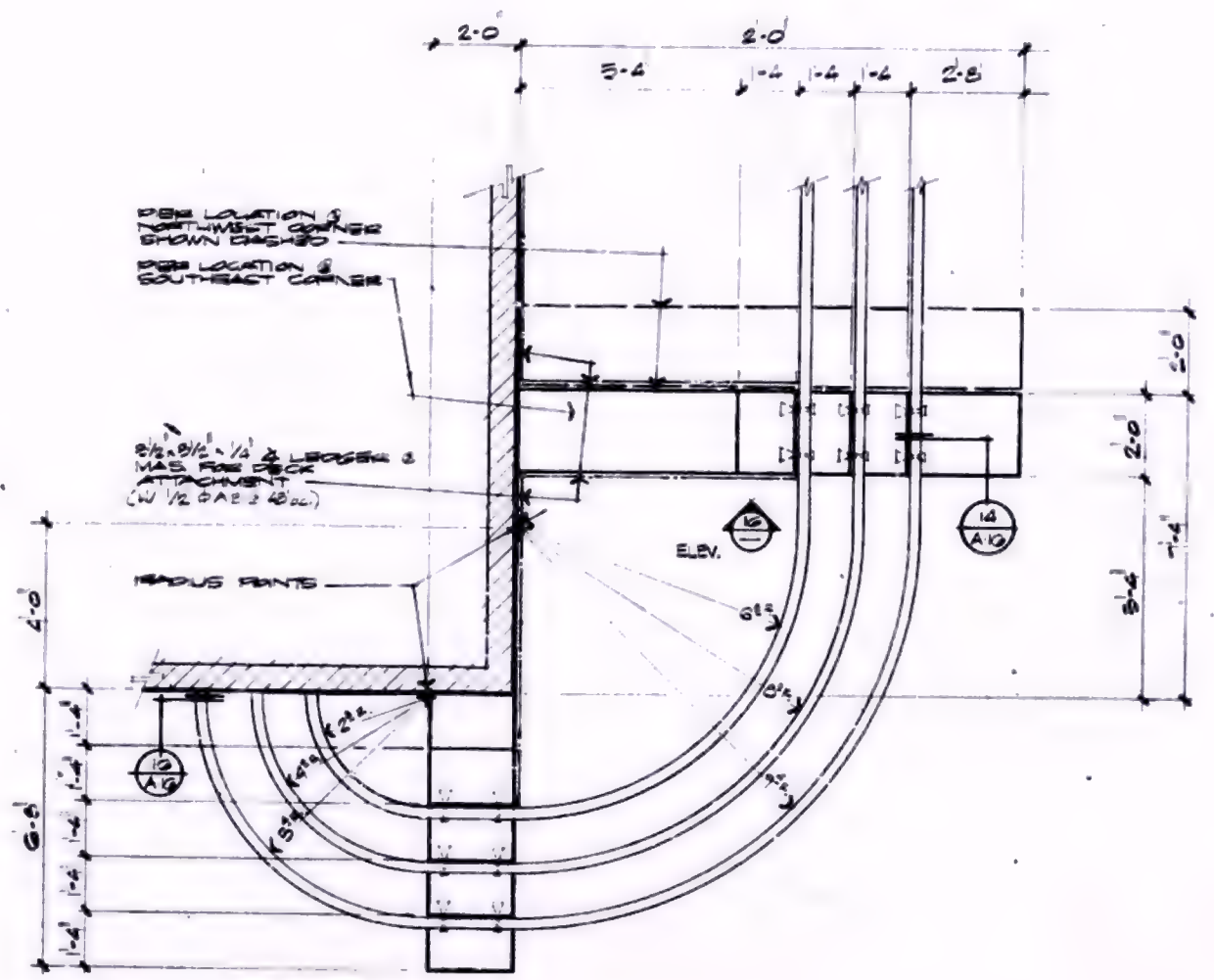


(B) TRANSVERSE SECTION

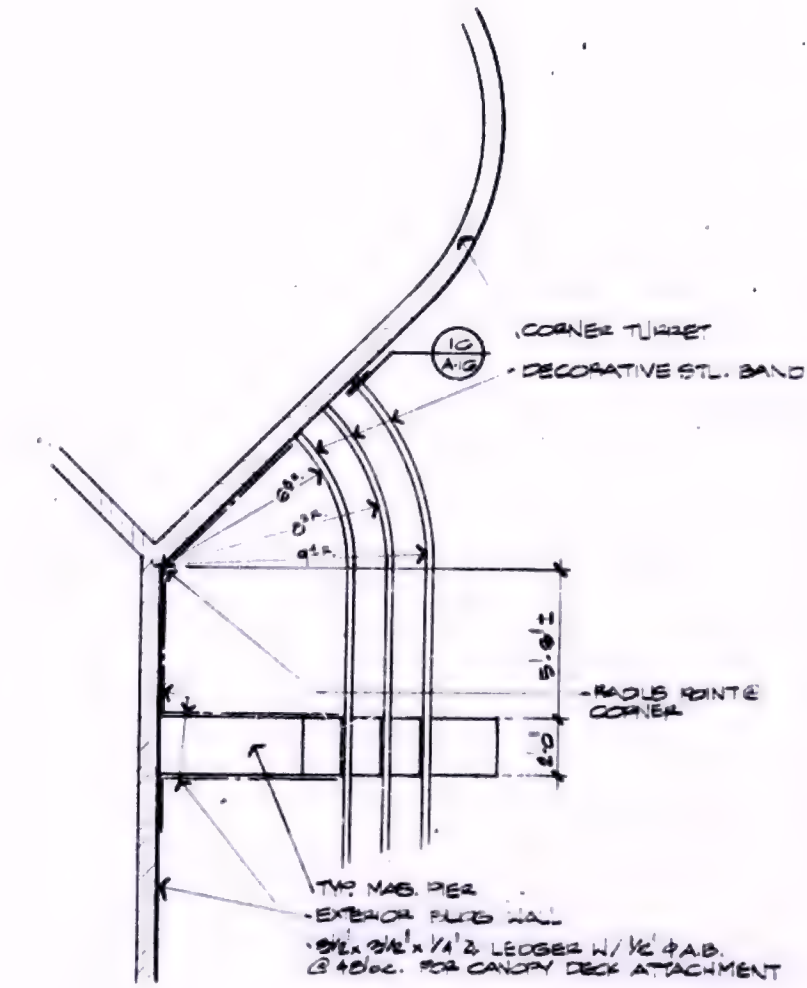
- UL ROOF DATA**
- 1. DURA-GARD COATING - CLASS 'A' ROOF COATING PER UL CLASSIFICATION CARD NO. 9999C, PARAGRAPH 7.2.4.1.
  - 2. URETHANE FOAM - CLASS 'A' FOAM PER UL TR-10.
  - 3. ROOFING INSTALLATION SHALL COMPLY WITH UL DATA & SPECIFICATIONS.



(C) MASONRY DETAIL



(D) STEEL BANDS PLAN @ BLOC. CORNERS



(E) STEEL BANDS @ ENTRY TURRET

# SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.  
S-M PIZZA INC. STORE NO. 2  
2990 E. NORTHERN AVENUE - SUITE 100  
PHOENIX, ARIZONA

UNBERGER ASSOCIATES  
LAND PLANNING-ARCHITECTURE

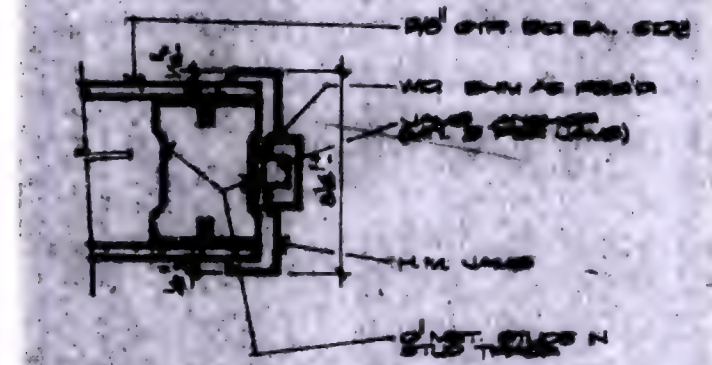
DATE: 10.18.88  
JOB NO. 8804  
PROJECT MGR. SMD  
DESIGNED BY: SMD  
REVIEWED BY: SMD

REVISION DATES

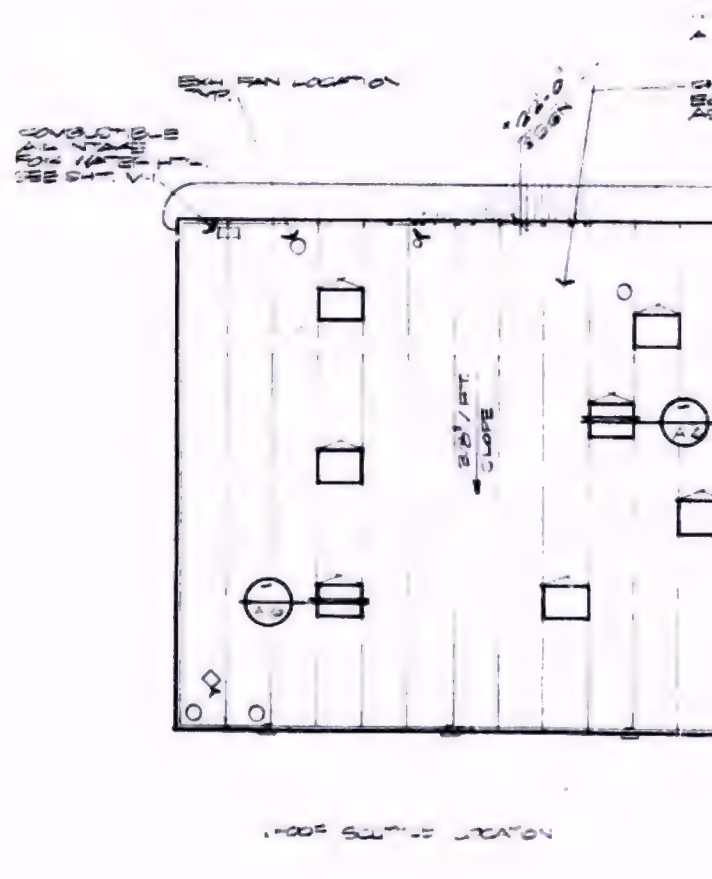
REV. 2 NOV 88



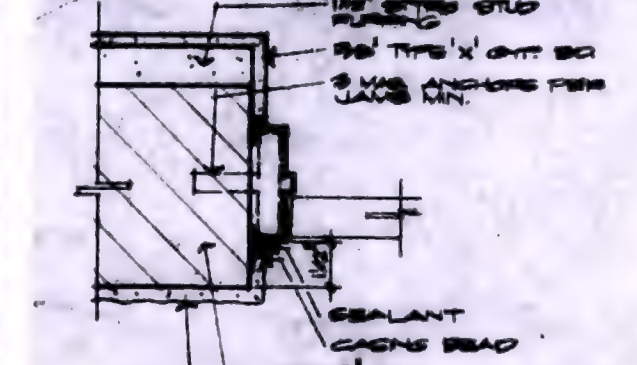
① H.M. JAMB & STUD WALL



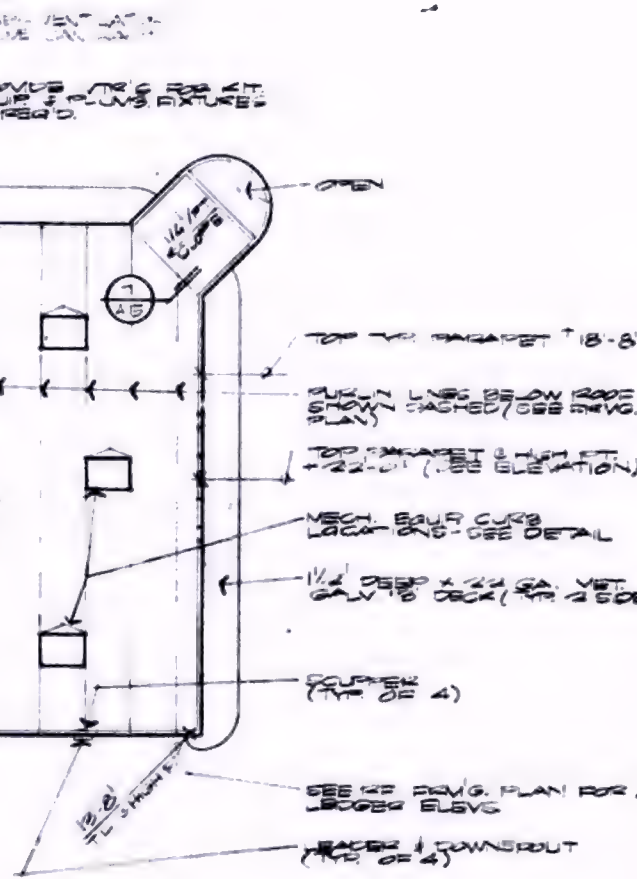
② H.M. DOOR FRAME & STUDS



③ ENTRY DOOR JAMB



④ H. MET. DOOR JAMB

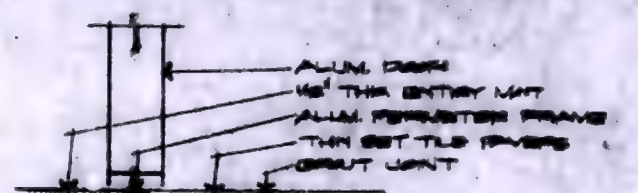


⑤ ROOF PLAN

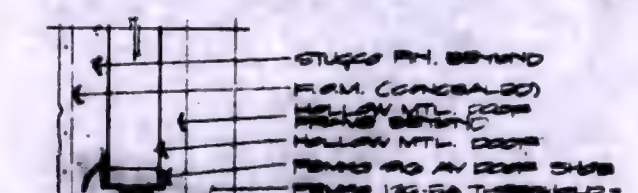
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**UL ROOF DATA**  
 1. DURAGARD COATING - CLASS W  
 ROOF COATING PER UL CLASSIFICATION CARD No. 9999C, PARAGRAPH 7.1.1.1.  
 2. URETHANE FOAM - CLASS W  
 ROOF PER UL T10.  
 3. ROOFING INSTALLATION SHALL COMPLY WITH UL TEST DATA & SPECIFICATION.

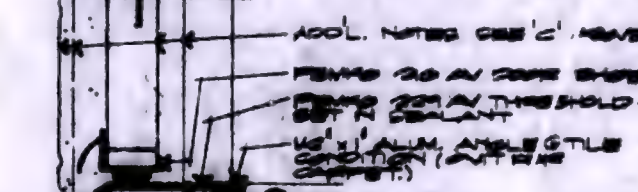
⑥ SILL COND & ENTRY CURVE



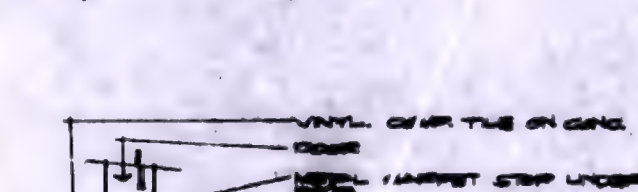
⑦ SILL COND & VESTIBULE DOORS



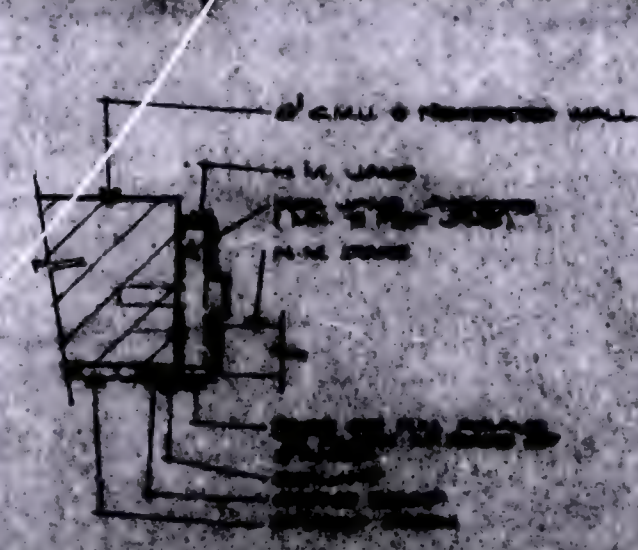
⑧ H. MET. DOORS & COMPRESSOR RM.



⑨ H. MET. EXIT DOORS



⑩ DOOR SILLS



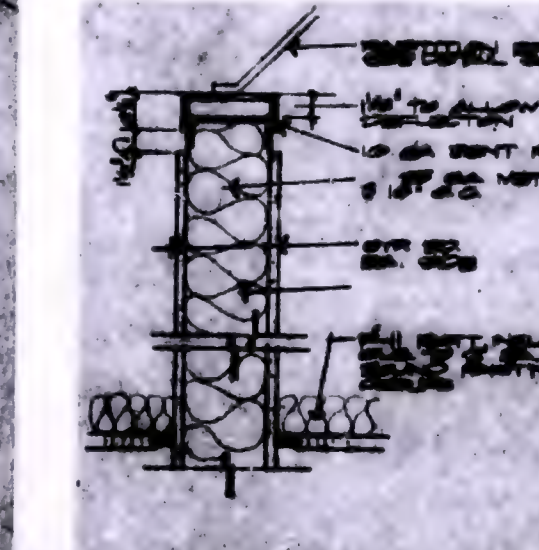
⑪ DOOR JAMB & STUD WALL



⑫ DOOR SCHEDULE

NO.	TYPE	MATERIAL	SIZE	FRAME				HOW.	UL FIRE LABEL	REMARKS
				MAT.	HEAD	JAMB	SILL			
1	I	ALUM. GLASS	36" x 48"							
2	II	WOOD	36" x 48"							
3	I	ALUM. GLASS	36" x 48"							
4	II	WOOD	36" x 48"							

⑬ DOOR TYPES



⑭ TYP. PARTN. HEAD



⑮

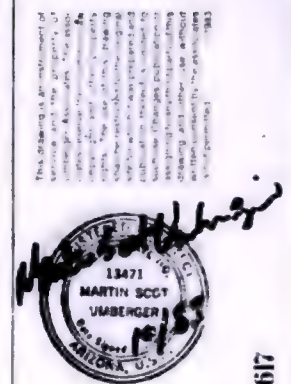








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# SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.  
S-M PIZZA INC. STORE NO. 2  
2990 E. NORTHERN AVENUE - SUITE 100  
PHOENIX, ARIZONA

UNBERGER ASSOCIATES  
LAND PLANNING-ARCHITECTURE-SCAPE ARCHITECTURE

REVISION DATES

DATE: 10-10-88

JOB NO. 0824

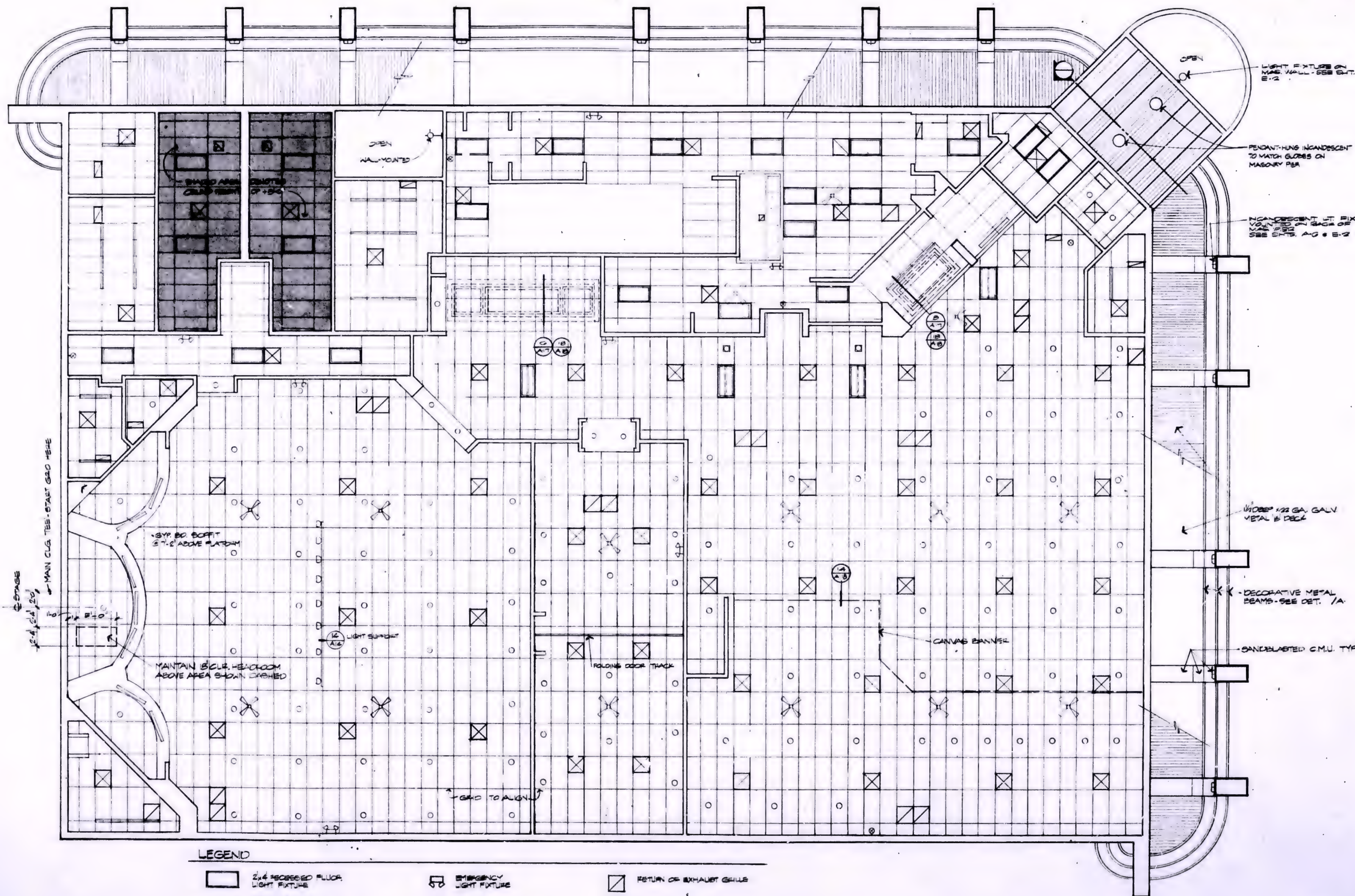
PROJECT MGR. SMO

DRAWN BY: SMO/CS

REVIEWED BY:

A-9

PHOENIX, ARIZONA 85014 (602) 354-2617



## LEGEND

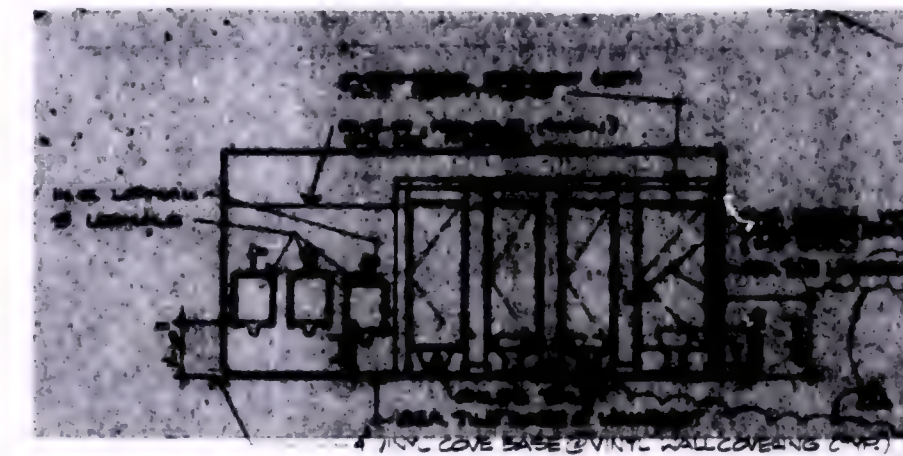
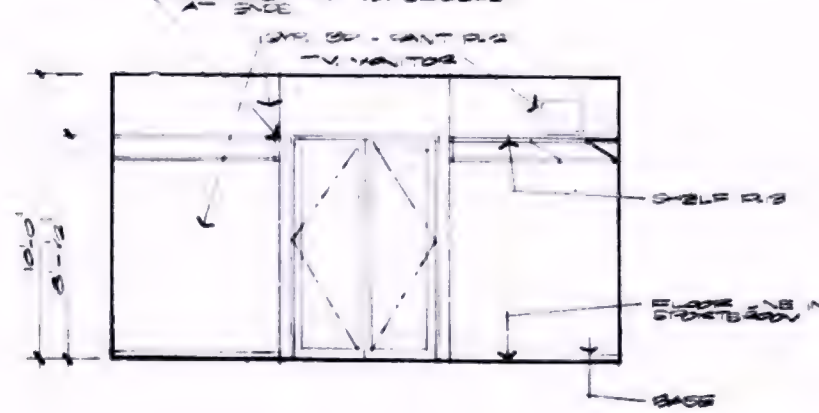
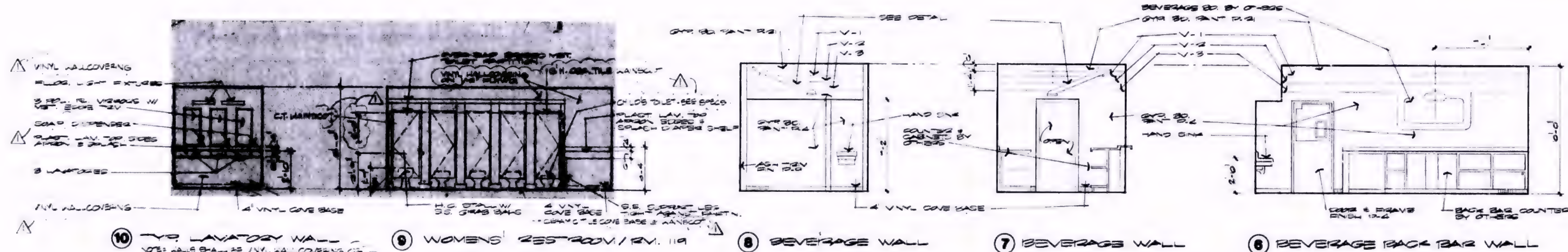
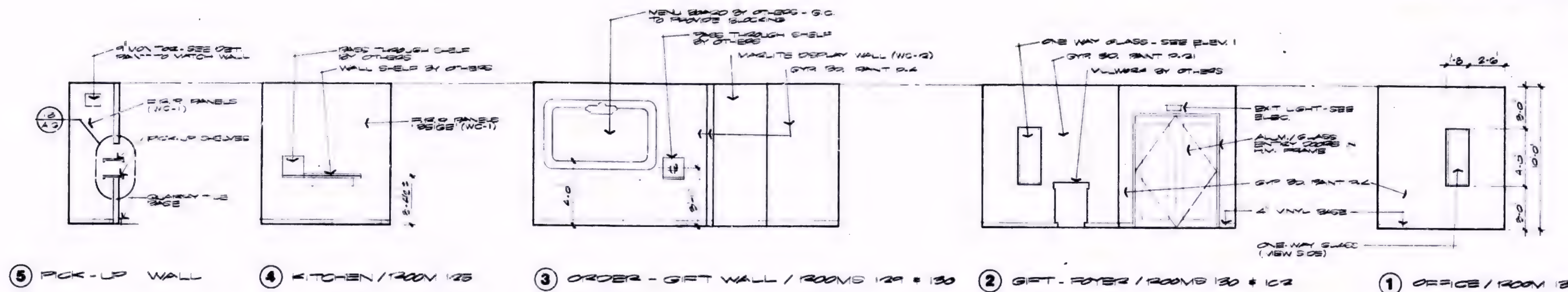
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|--|-------------------------------------|--|------------------------------|--|-----------------------------------|
|  | 2 1/4 RECESSED FLUOR. LIGHT FIXTURE |  | EMERGENCY LIGHT FIXTURE      |  | RETURN OR EXHAUST GRILLE          |
|  | SURFACE MTD. FLUOR. LIGHT FIXTURE   |  | EXT. LIGHT                   |  | SUPPLY DIFFUSER                   |
|  | INCANDESCENT LIGHT FIXTURE          |  | TRACK LIGHT (INCAND.) N.L.C. |  | PENDANT HUNG GLOBE LAMP (INCAND.) |
|  | VARIABLE SPEED CEILING FAN N.L.C.   |  | ROOM NUMBER                  | NOTE: SEE ELEC. DRAWINGS FOR SPEAKER LOCATIONS |                                   |

REFLECTED CEILING PLAN

9/10-11/0

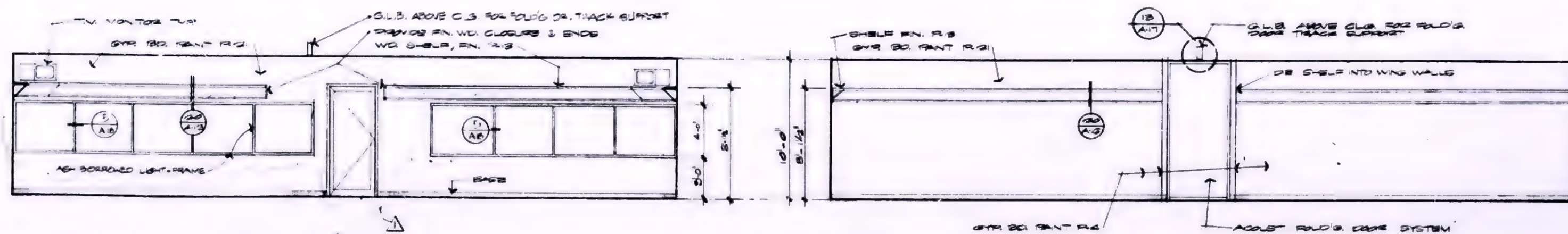






⑪ SPORTSROOM NORTH WALL / RM. 108

⑪ MENS' RESTROOM / ROOM 120



⑫ SPORTSROOM EAST WALL / ROOM 108

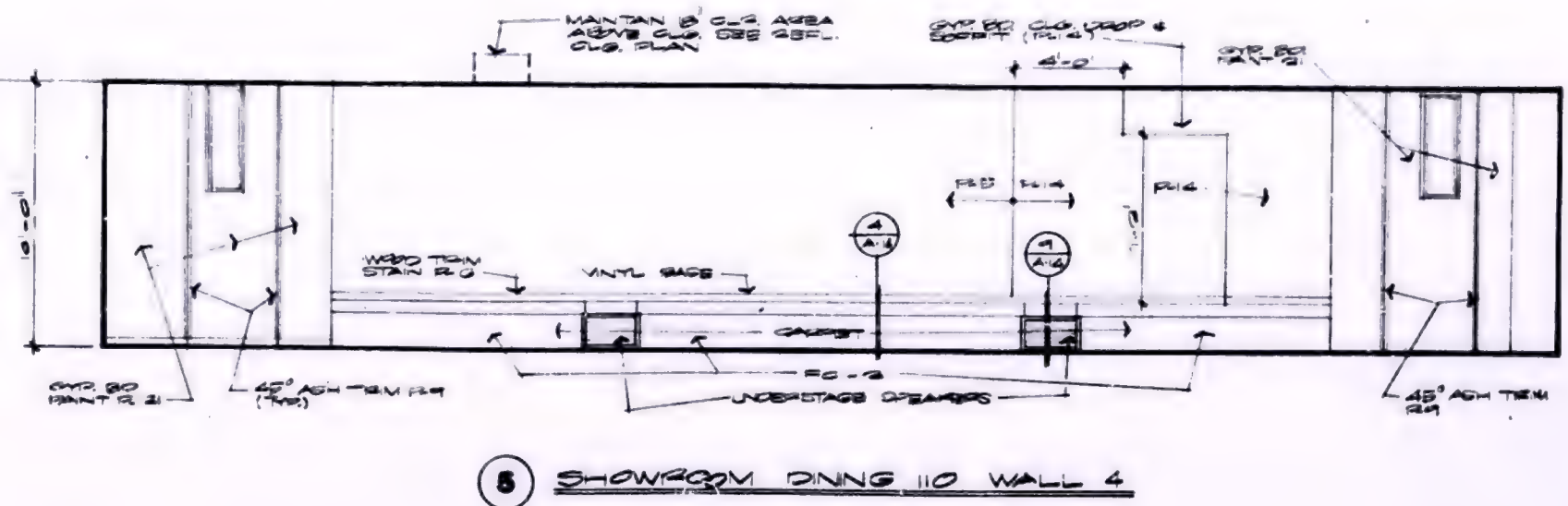
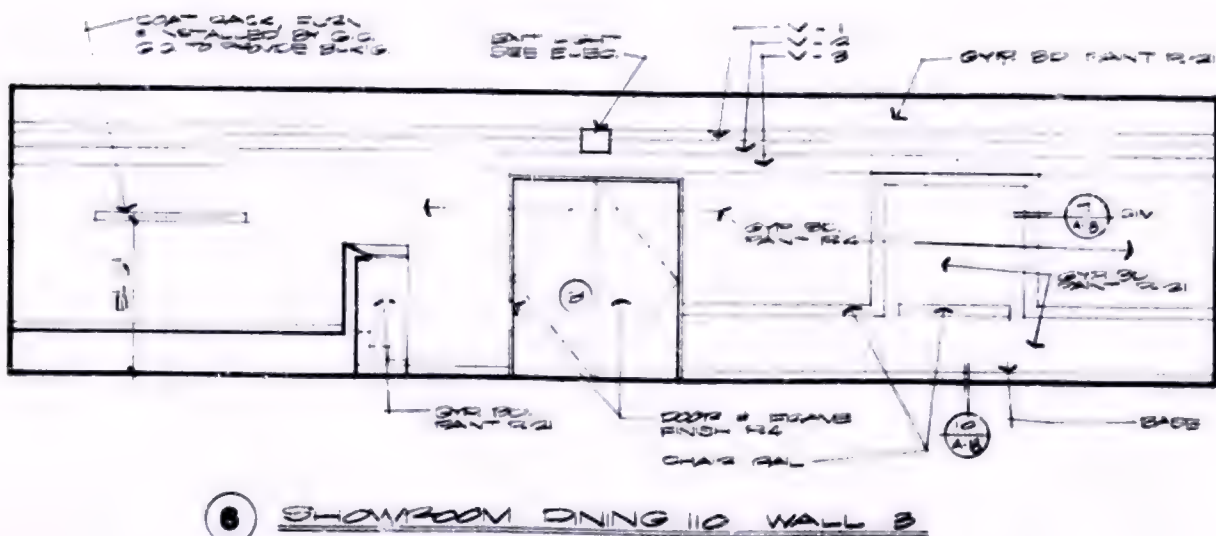
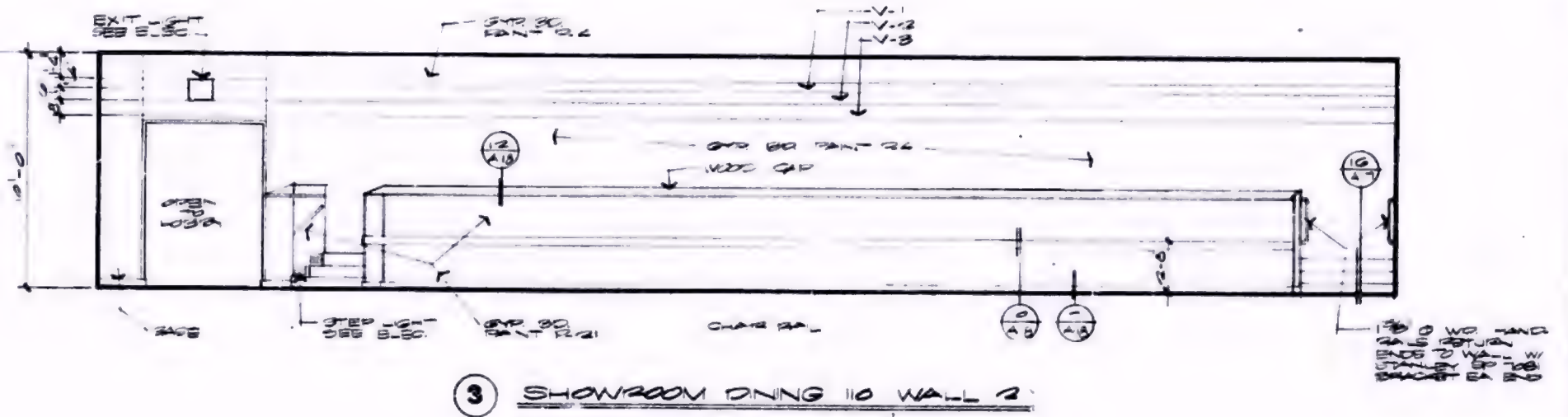
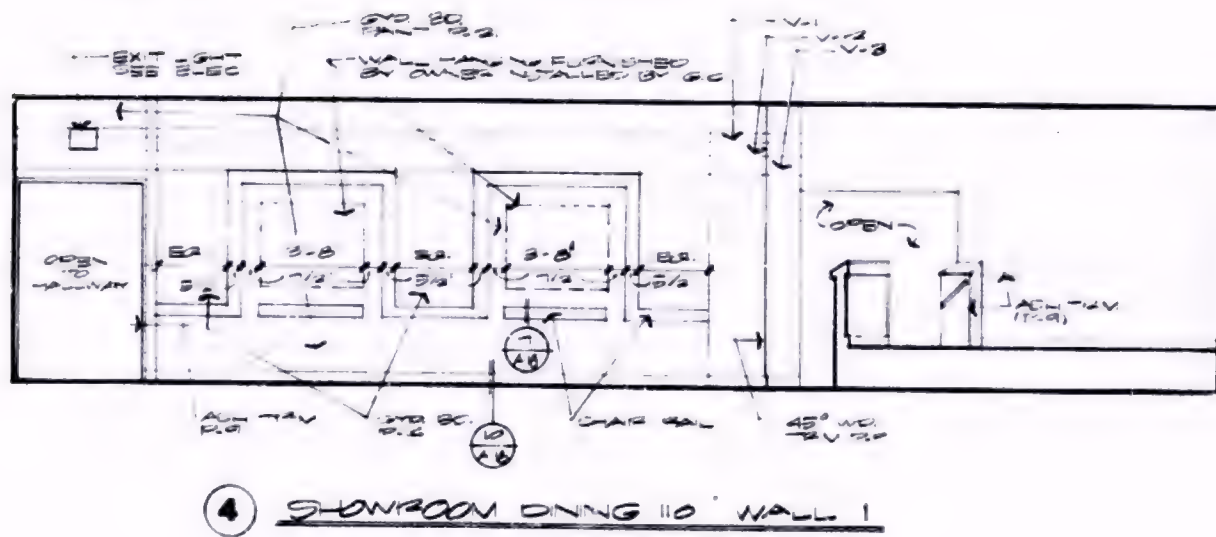
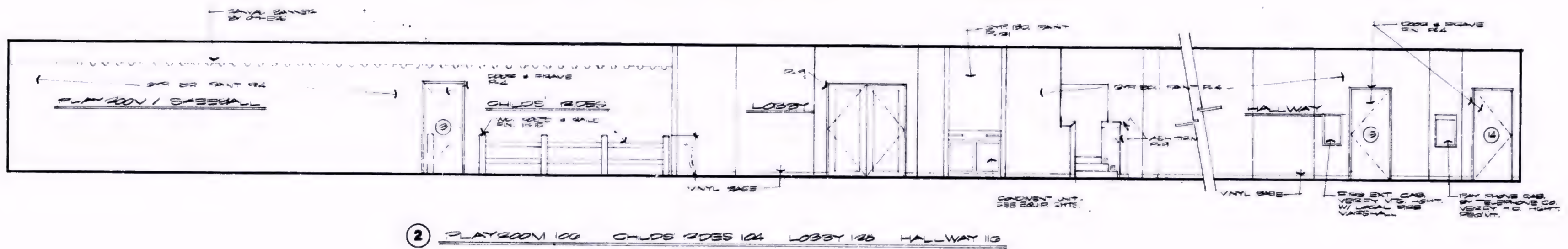
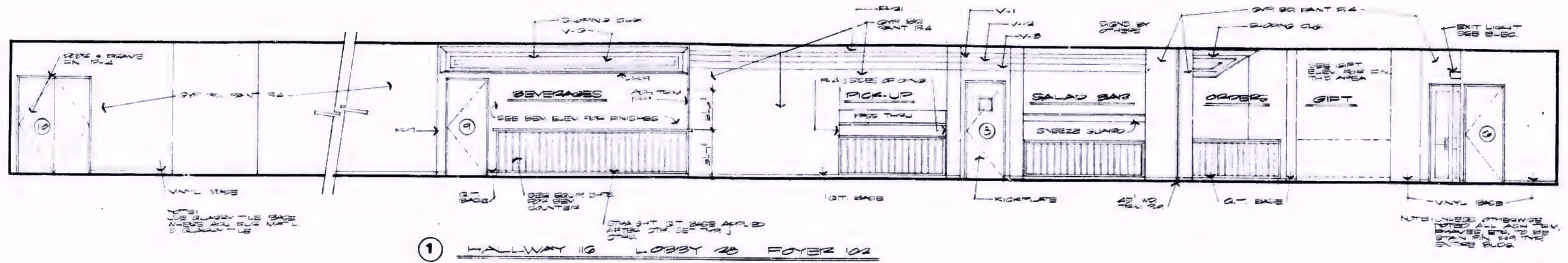
⑬ SPORTSROOM WEST WALL / ROOM 108

# SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.  
S-M PIZZA INC. STORE NO. 2  
2990 E. NORTHERN AVENUE - SUITE 100  
PHOENIX, ARIZONA

UNBERGER ASSOCIATES  
LAND PLANNING ARCHITECTURE





# SHOWRIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.  
S-M PIZZA INC. STORE NO. 2  
9990 E. NORTHERN AVENUE - SUITE 100  
PHOENIX, ARIZONA

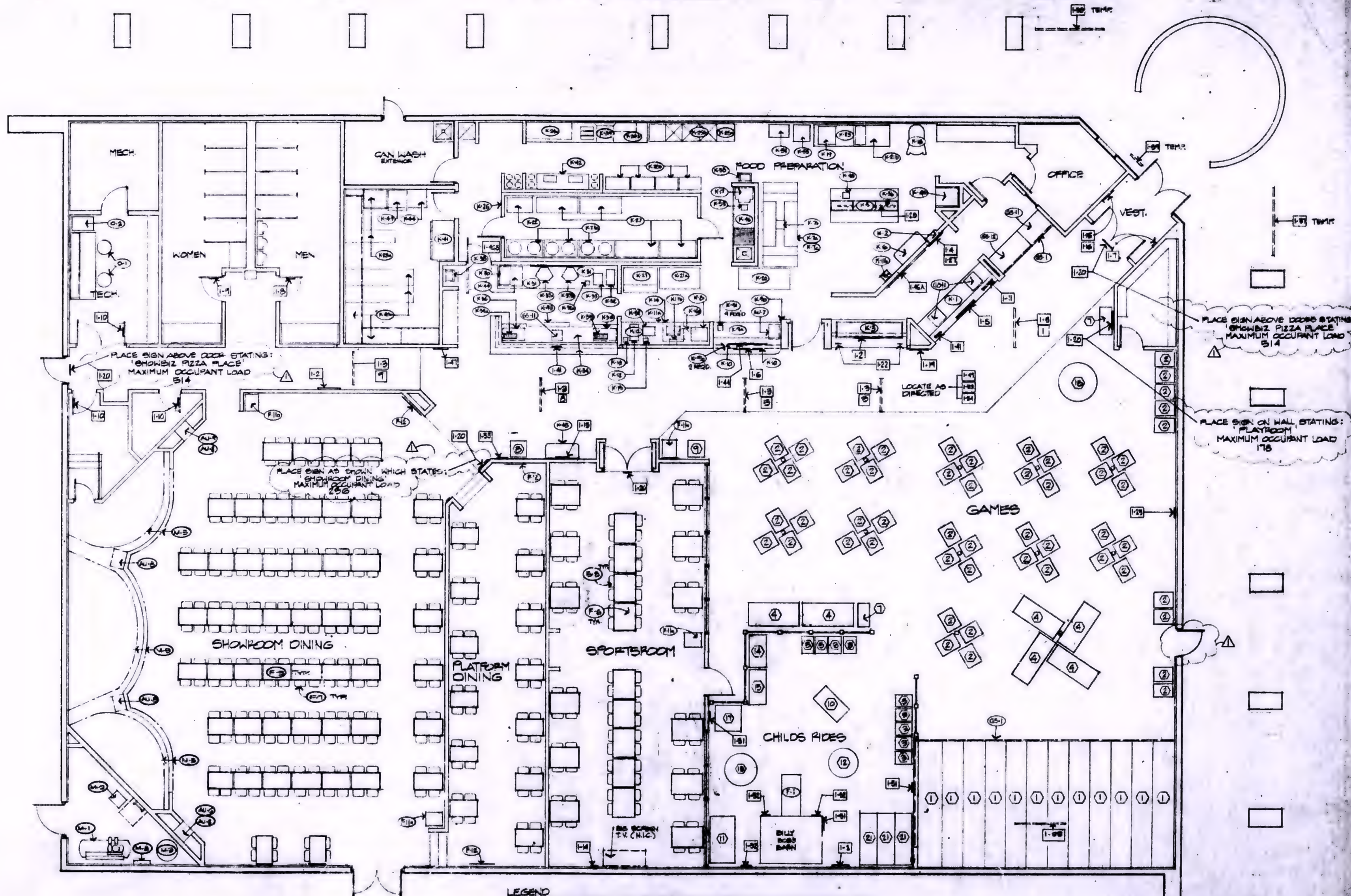
UNBERGER ASSOCIATES  
LAND PLANNING-ARCHITECTURE-SCAPE ARCHITECTURE

DATE: 01.15.92  
JOB NO: 0004  
PROJECT MGR: SEC  
DESIGNED BY: EC  
REVIEWED BY:

A-11

PHOENIX, ARIZONA 85014 (602) 364-2617





# LEGEND

- EQUIPMENT NO. - REF. SPEC., DIV. 11  
 EQUIPMENT TYPE:  
 AU - AUDIO VISUAL  
 F - FURNITURE  
 K - KITCHEN  
 M - MISCELLANEOUS  
 O - OFFICE
- SIGN NO. - REF. SPEC.

- SIGN NO. - REF. SPEC., DIV. 10  
 SIGN TYPE:  
 I - INTERIOR  
 E - EXTERIOR  
 BANNER NO. - REF. SPEC.

DATE: 11 NOV 83  
 JOB NO. 83-11  
 PROJECT MGR. JAC  
 DRAWINGS BY: JAC  
 REVIEWED BY: JAC

REVISION DATES

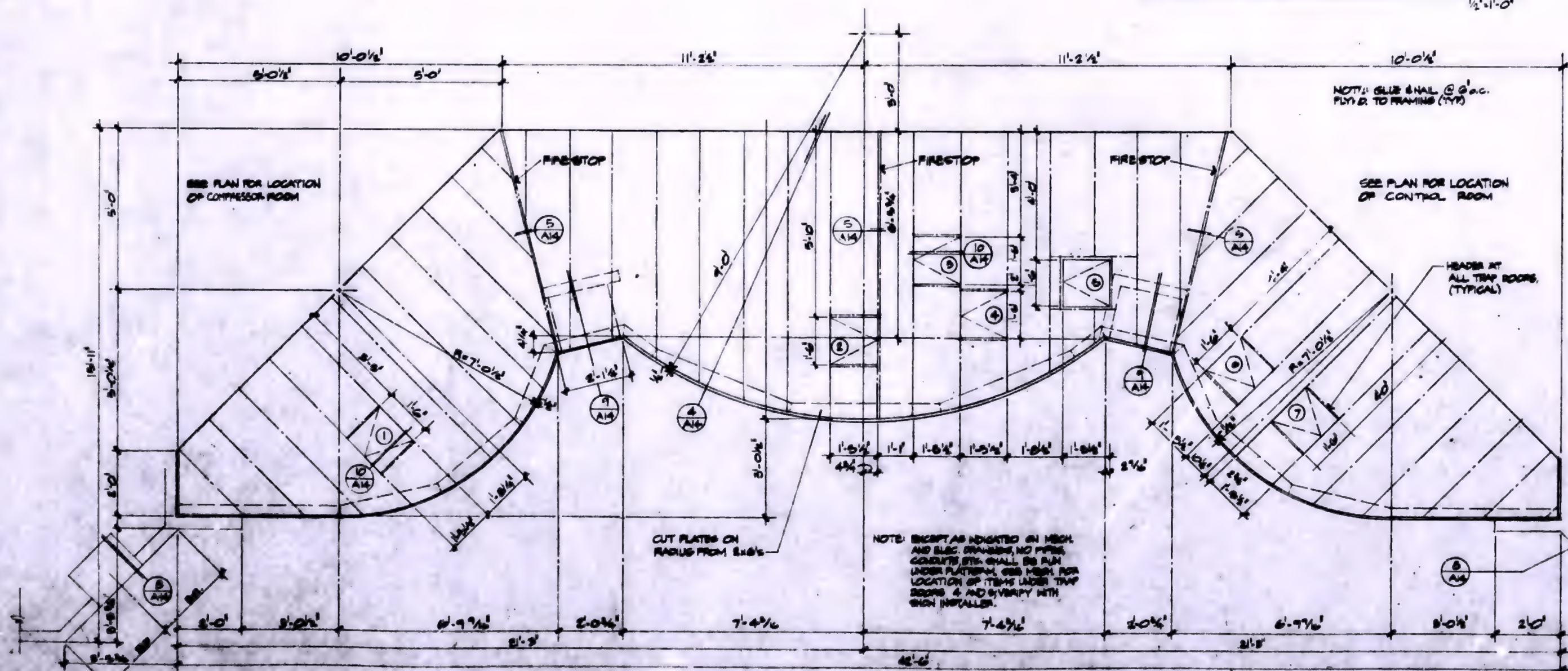
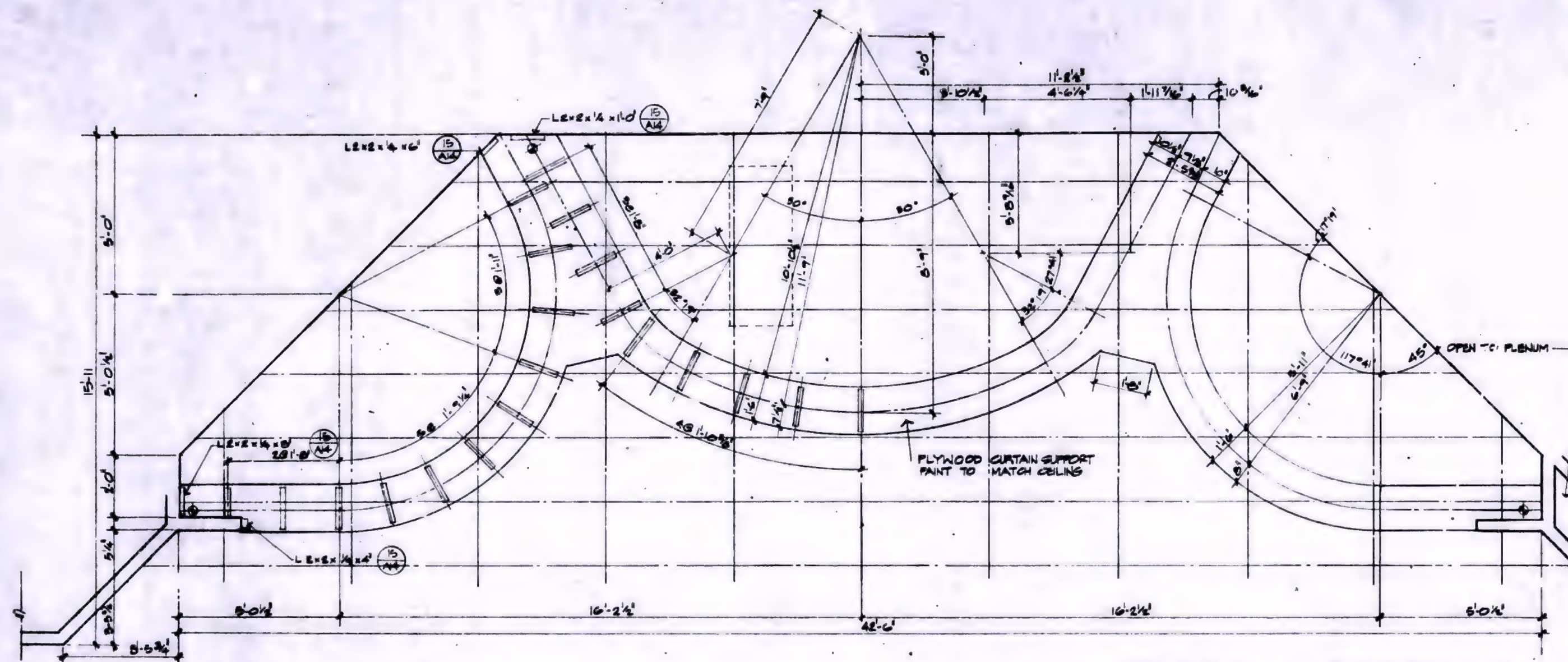
**UNBERGER ASSOCIATES**  
 LAND PLANNING-ARCHITECTURE-LANDSCAPE ARCHITECTURE  
 855 S. ALMA SCHOOL RD.  
 S-M PIZZA INC. STORE NO. 2  
 2990 E. NORTHERN AVENUE SUITE 100  
 PHOENIX, ARIZONA

**SHOWBIZ PIZZA PLACE**  
 855 S. ALMA SCHOOL RD.  
 S-M PIZZA INC. STORE NO. 2  
 2990 E. NORTHERN AVENUE SUITE 100  
 PHOENIX, ARIZONA

855 EAST CAMELBACK ROAD SUITE 305 PHOENIX, ARIZONA 85014 (602) 964-3817  
 1987  
 11/11/83

A-12





DATE: 06-05

**ON THE**

PROJECT MGR:       DRAWING BY: CO

REVIEWED BY: \_\_\_\_\_

**REVISION DATES**

# UNBERGER ASSOCIATES

LAND PLANNING ARCHITECTURE LANSING MI ARCHITECTURE

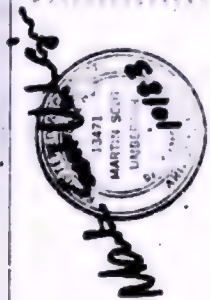
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771A00100

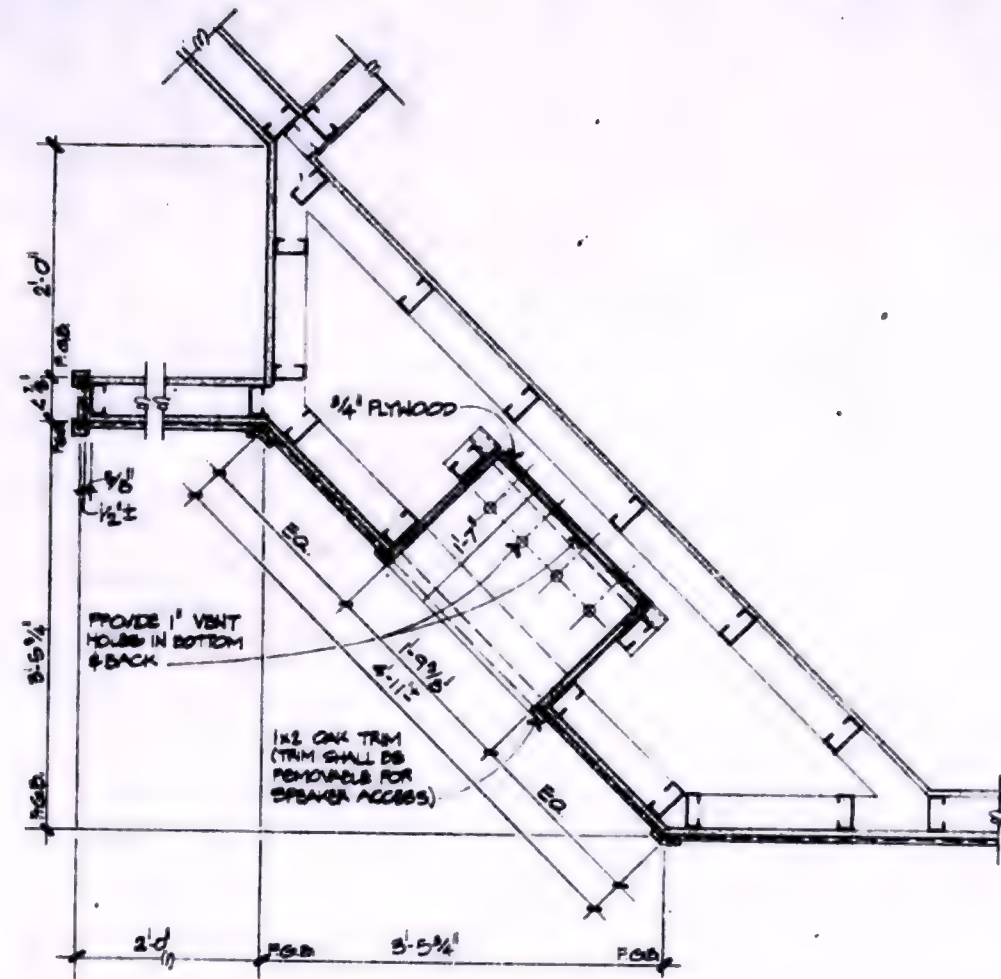
850 S. ALMA SCHOOL RD.  
S-M PIZZA INC STORE NO. 2

S-M PIZZA INC. STORE NO. 2  
 2990 E NORTHERN AVENUE : SUITE 101C

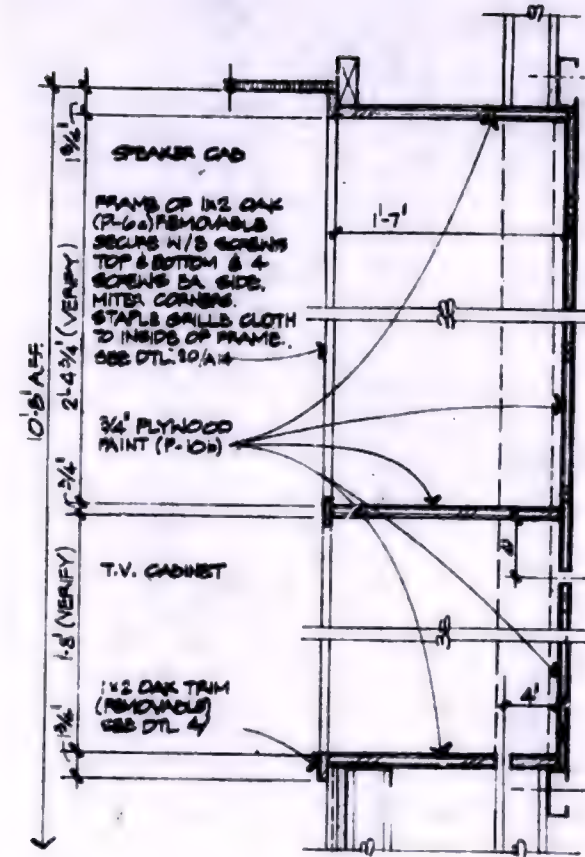
8530 E. NORTH AVE.  
PHOENIX, ARIZONA



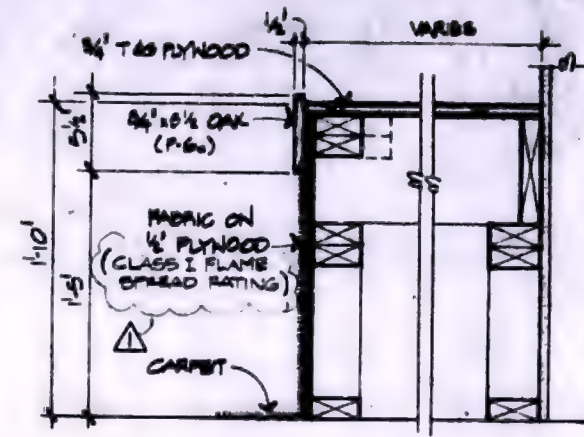




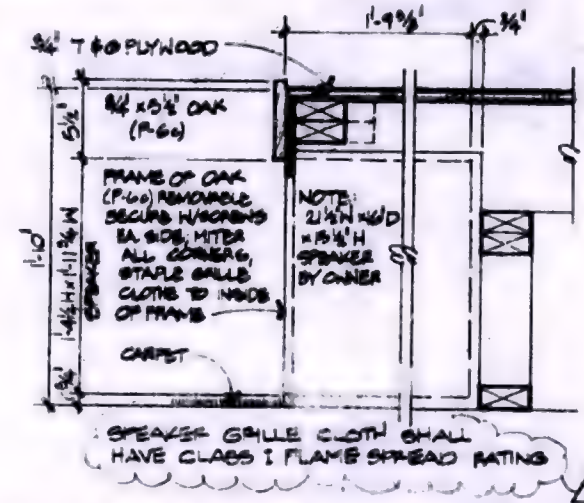
9. SPEAKER LOCATION @ RIGHT OF STAGE  
1"=1'-0"



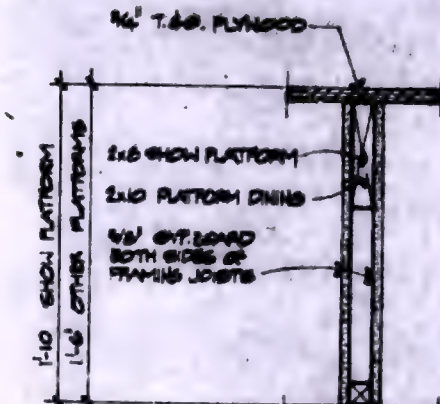
10. WALL-MOUNTED SPEAKER LOCATION  
1/2"=1'-0"



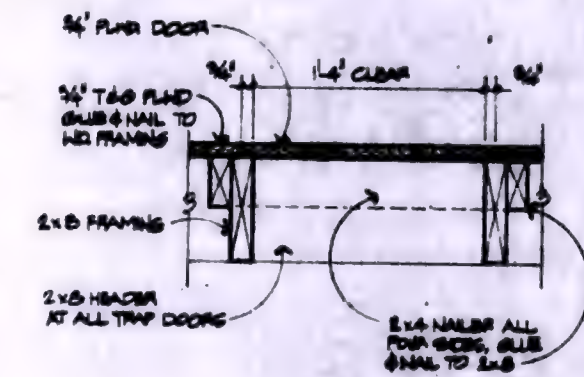
11. TYPICAL STAGE CONSTRUCTION  
1/2"=1'-0"



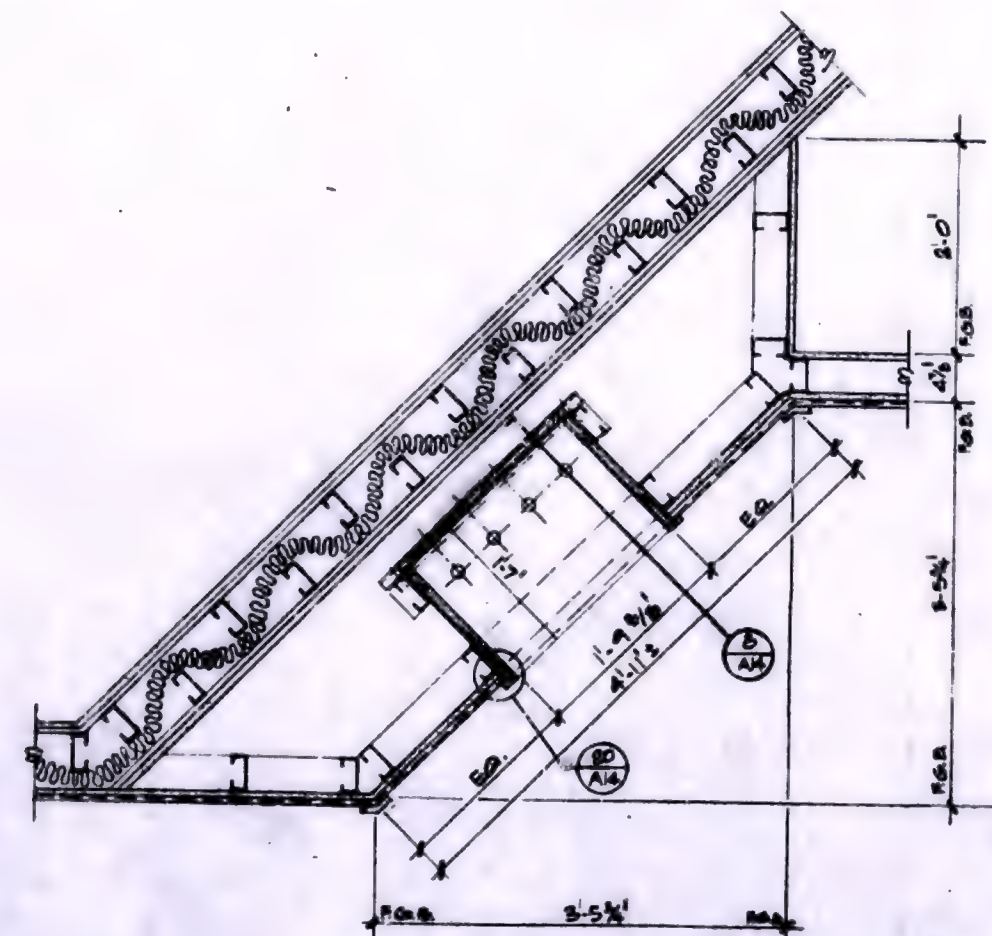
12. UNDER-STAGE SPEAKER LOCATION  
1/2"=1'-0"



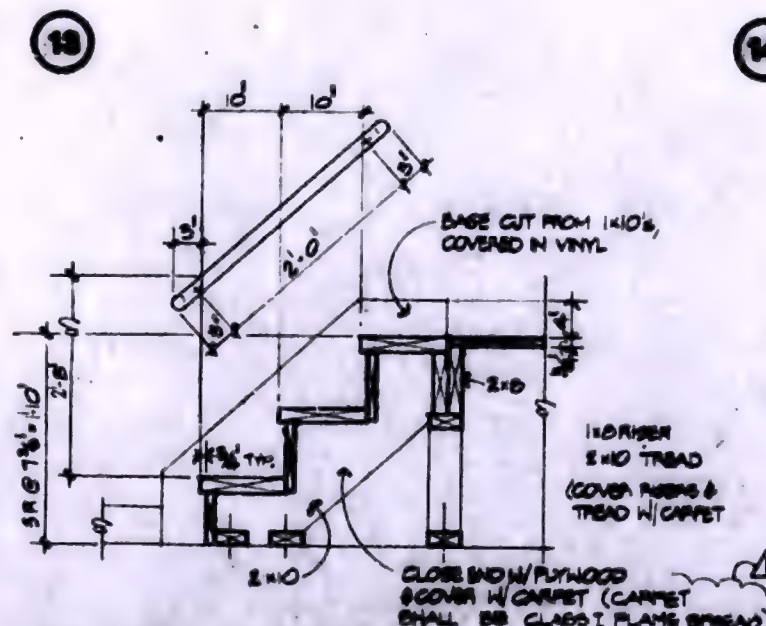
13. FIRESTOP @ PLATFORM  
1/2"=1'-0"



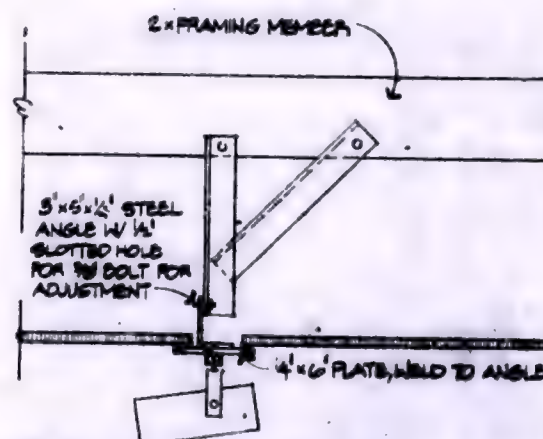
14. ACCESS TO UNDER STAGE  
1/2"=1'-0"



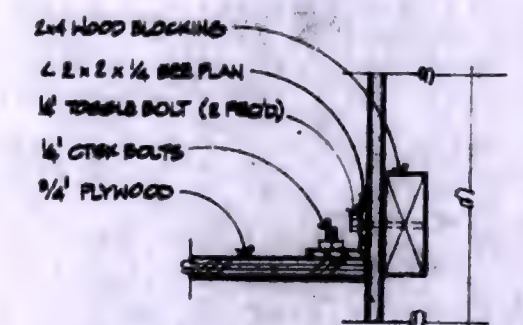
15. SPEAKER LOCATION @ LEFT OF STAGE  
1"=1'-0"



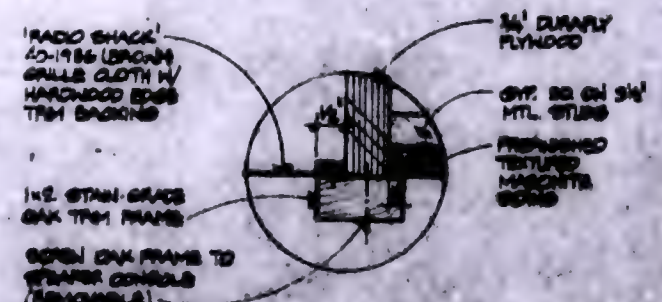
16. STAIR @ CONTROL ROOM  
1"=1'-0"



17. SPOTLIGHT SUPPORT  
1"=1'-0"



18. CURTAIN RUNNER SUPPORT @ WALL  
1"=1'-0"



19. SPEAKER FRAME DETAIL  
1/2"=1'-0"

DATE: 10-10-99  
JOB NO: 9904  
PROJECT MGR: BCO  
DRAWINGS BY: GS  
REVIEWED BY:

REVISION DATES

ASSOCIATES

UNBERGER

LAND PLANNING-ARCHITECTURE

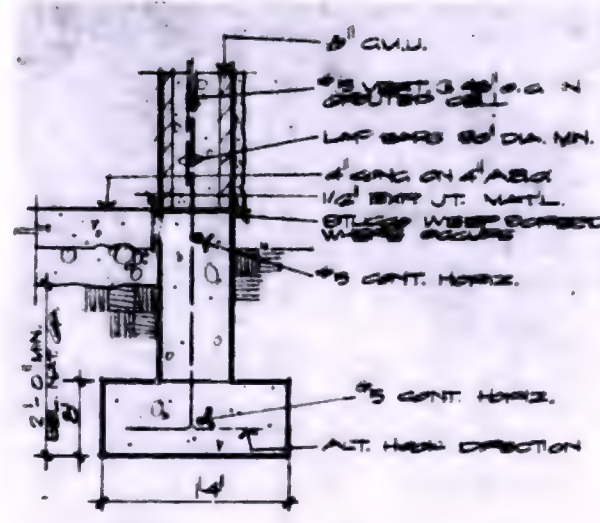
PHOENIX, ARIZONA

2990 E. NORTHERN AVENUE - SUITE 100

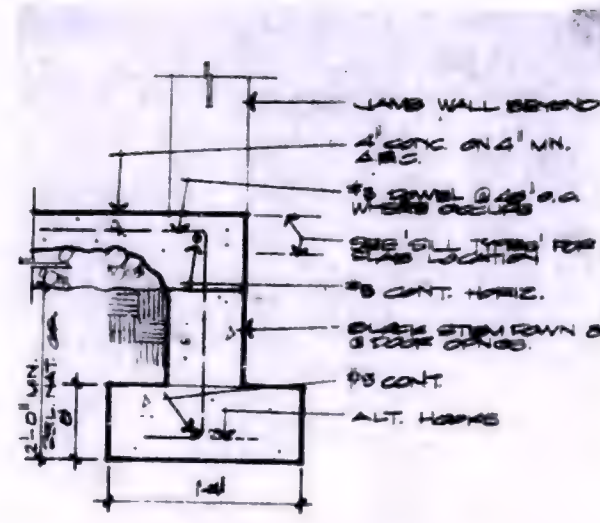
856 S. ALMA SCHOOL RD.

PHOENIX, ARIZONA 85041 (602) 264-2617

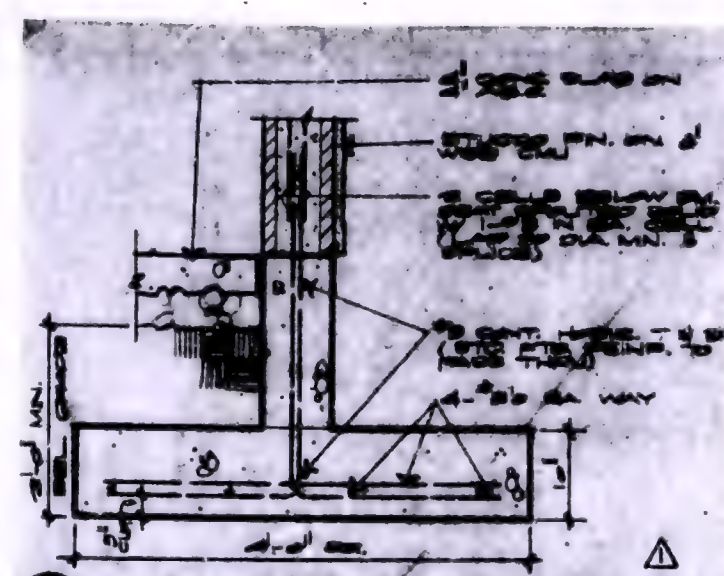




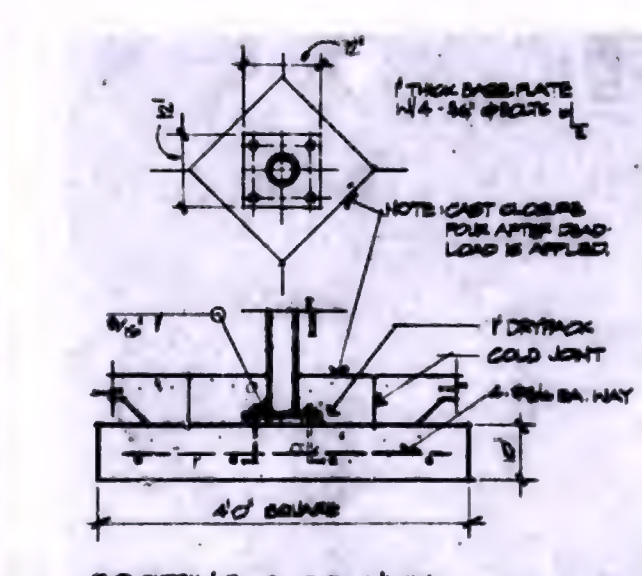
1 TYP. FOOTING @ EXT. WALL 1/4\"/>



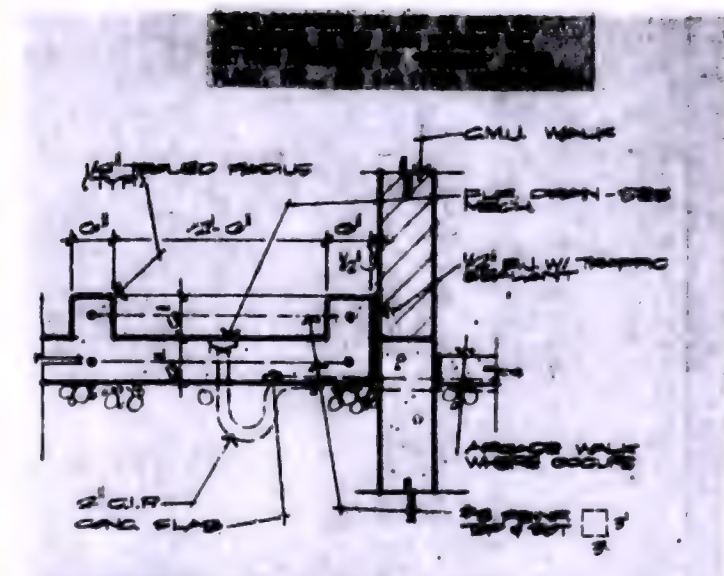
2 SLAB TURNDOWN 1/4\"/>



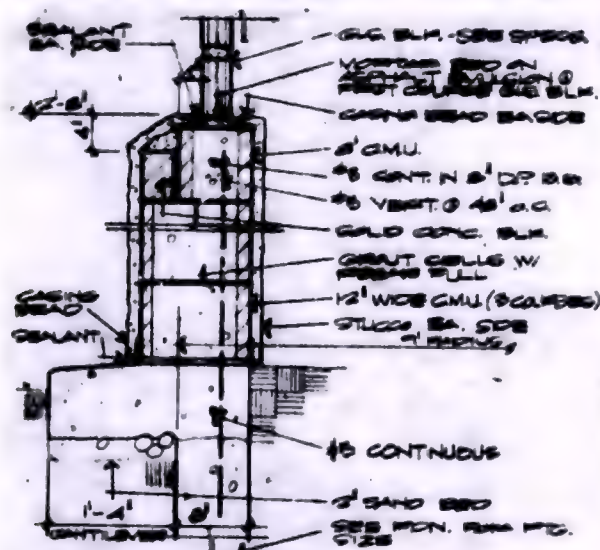
3 FTS @ FLUSH PLASTER 1/4\"/>



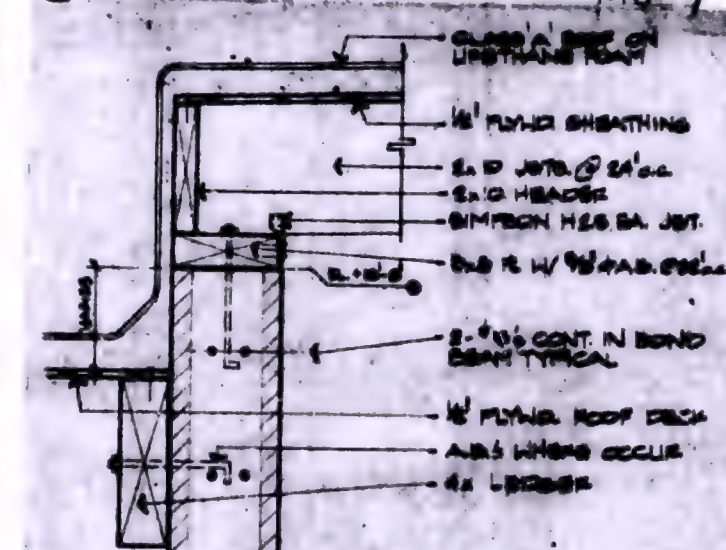
4 FOOTING @ COLUMN 1/4\"/>



5 SECTION @ CAN WASH 1/4\"/>



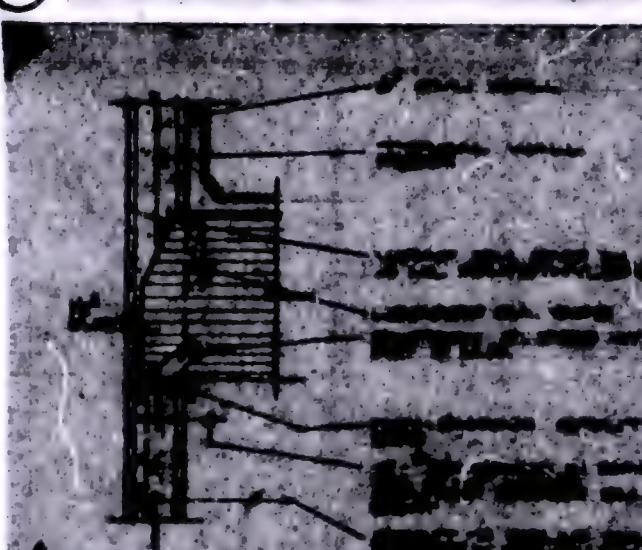
6 BASE OF TURRET 1/4\"/>



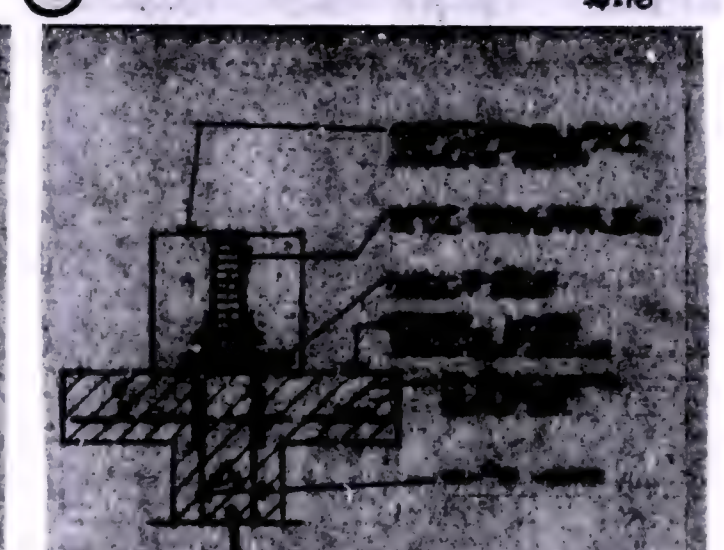
7 ROOF TRANSITION DETAIL 1/4\"/>



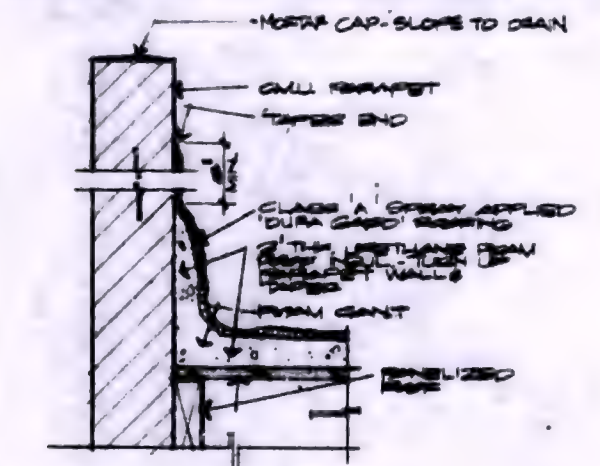
8 SHRINKAGE CONTROL JOINT 1/4\"/>



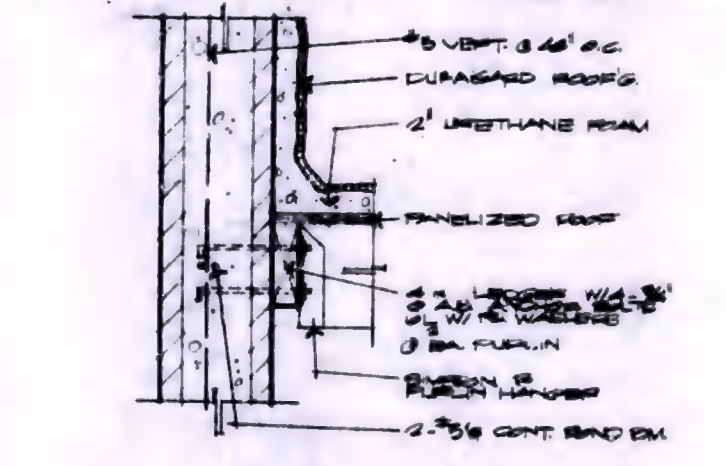
9 CONSTRUCTION JOINT 1/4\"/>



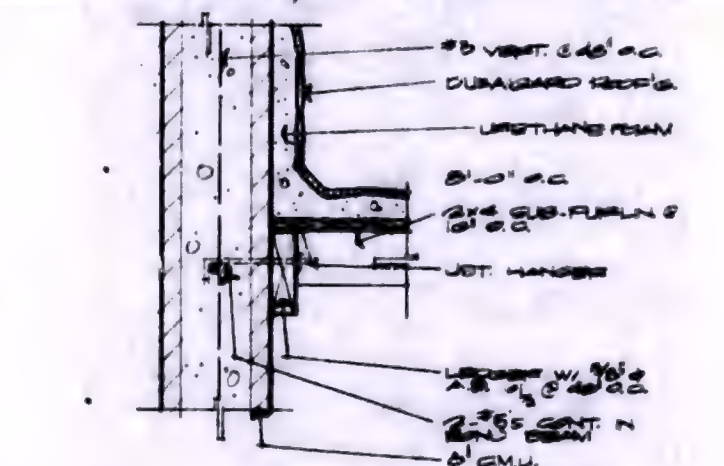
10 FLUSH PLASTER @ GUTTER 1/4\"/>



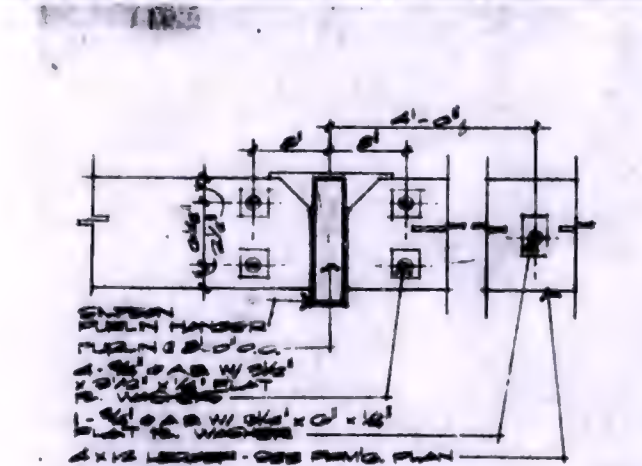
11 ROOFING @ PARAPET 1/4\"/>



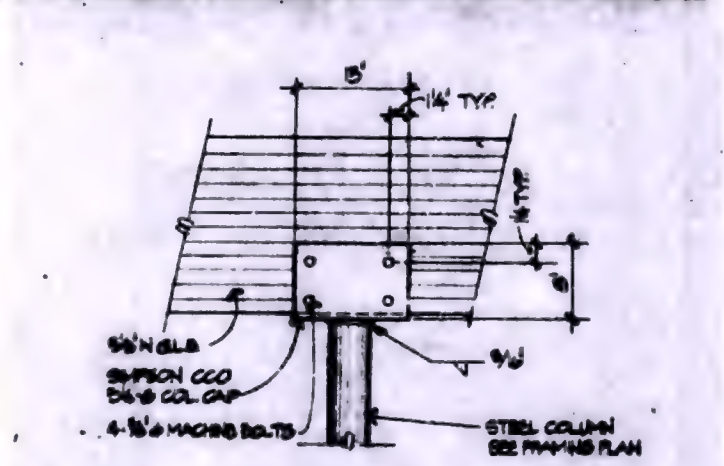
12 PURLIN @ LEDGER 1/4\"/>



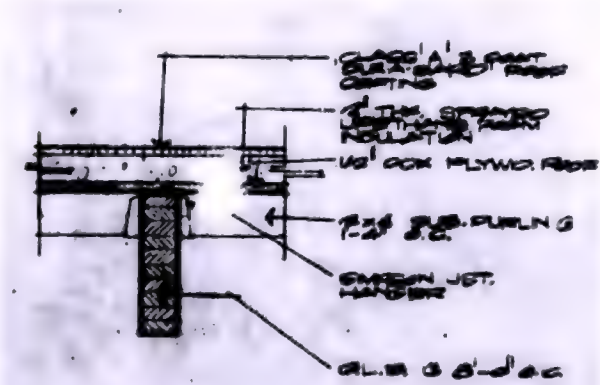
13 LEDGER @ SUB-PURLIN 1/4\"/>



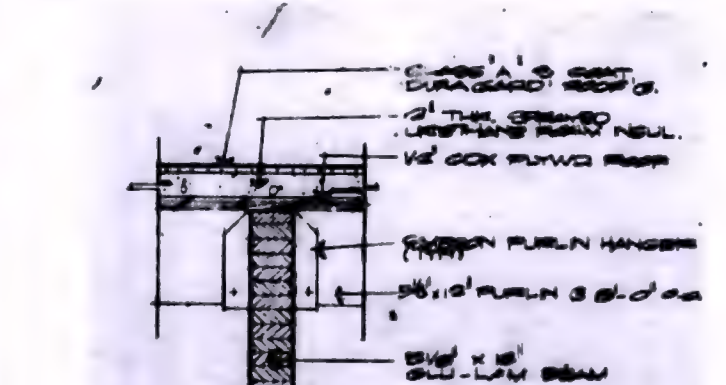
14 LEDGER ELEVATION @ PURLIN 1/4\"/>



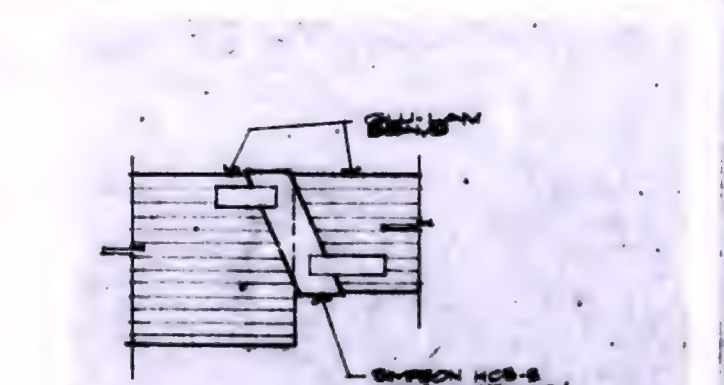
15 BEAM SADDLE @ GLU-LAM BEAM 1/4\"/>



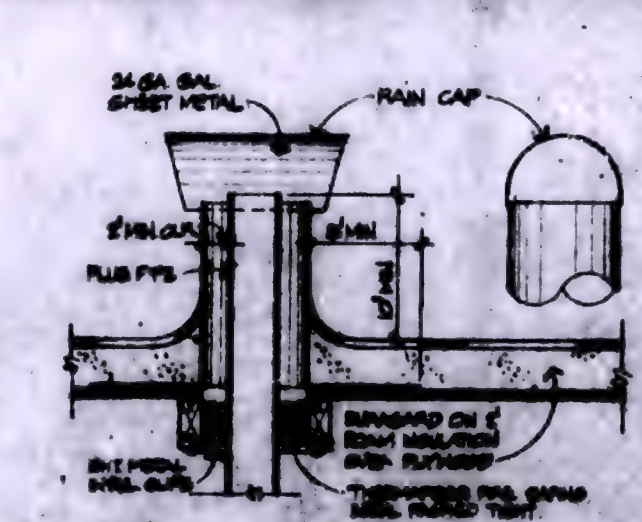
16 SUB-PURLIN TO PURLIN 1/4\"/>



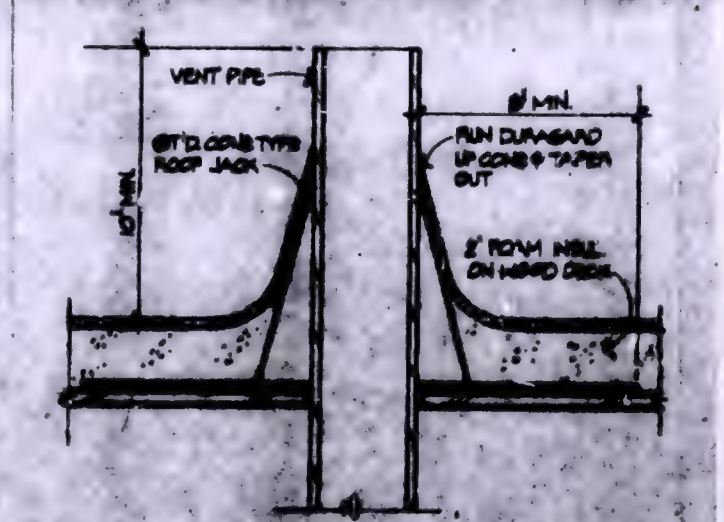
17 PURLIN TO GLU-LAM BEAM 1/4\"/>



18 HINGE CONN. @ CANT. GLU-LAM BEAM 1/4\"/>



19 EXHAUST VENT THROUGH ROOF 1/4\"/>



20 DR VENT THROUGH ROOF 1/4\"/>

NOTE:  
ROOFING SHALL BE 6\"/>

DETAILS

**UNIBERGER ASSOCIATES**  
LANDSCAPE ARCHITECTURE

DATE: 0-0-00  
JOB NO: 0000  
PROJECT: MFR  
DRAWING BY: [Signature]  
REVIEWED BY: [Signature]

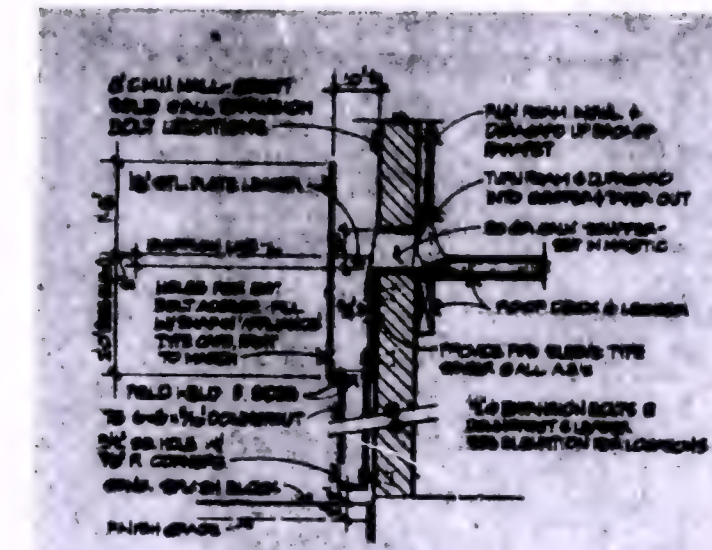
REVISION DATES

856 S. ALMA SCHOOL RD.  
S-M PIZZA INC. STORE NO. 2  
2990 E. NORTHERN AVENUE - SUITE 100  
PHOENIX, ARIZONA

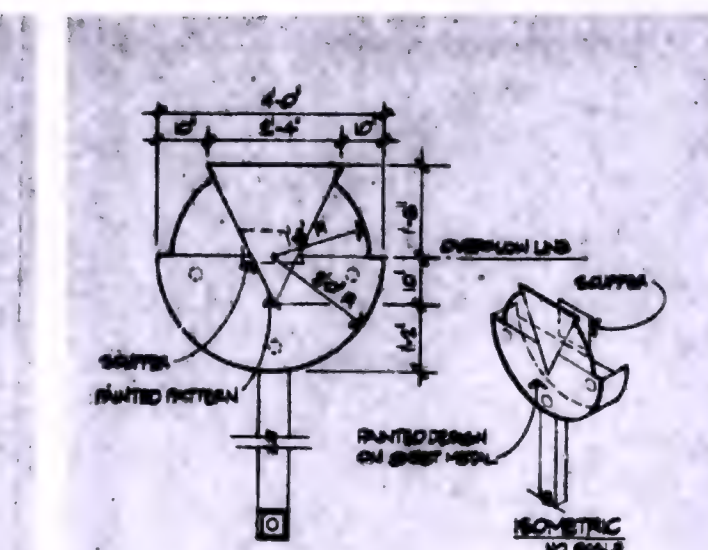
815 EAST CAMELBACK ROAD SUITE 305 PHOENIX, ARIZONA 85014 (602) 261-2617

A-15

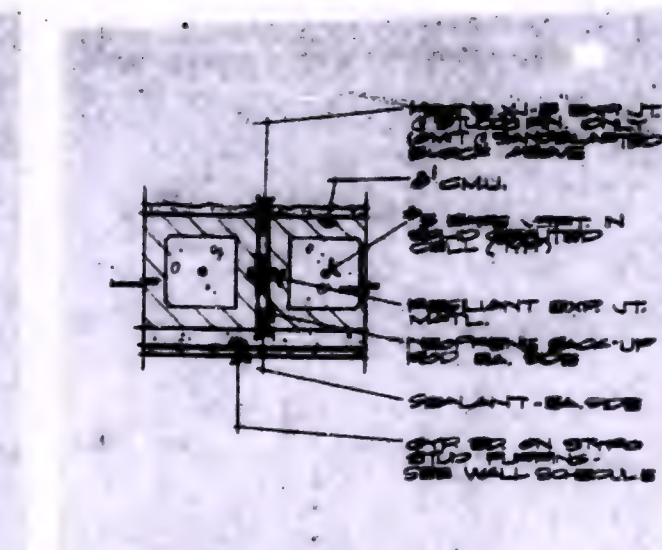




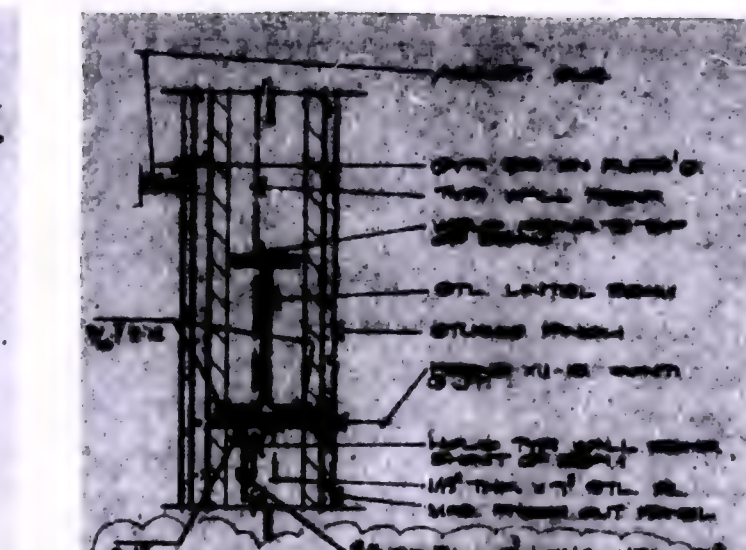
3 SCUPPER DETAIL



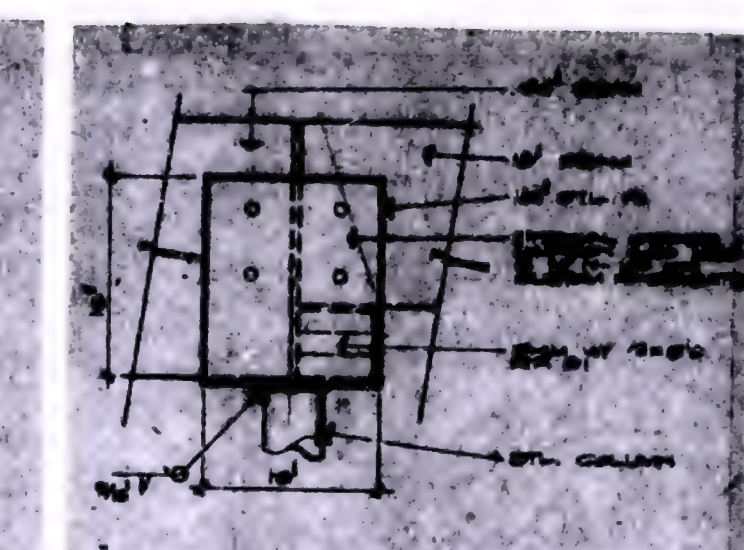
2 SCUPPER ELEVATION



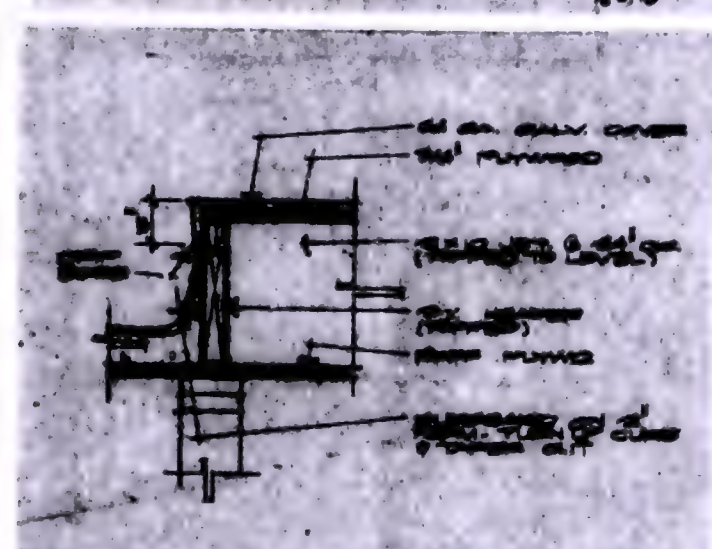
3 EXP. JT. / UT. OF CMU TUNNEL



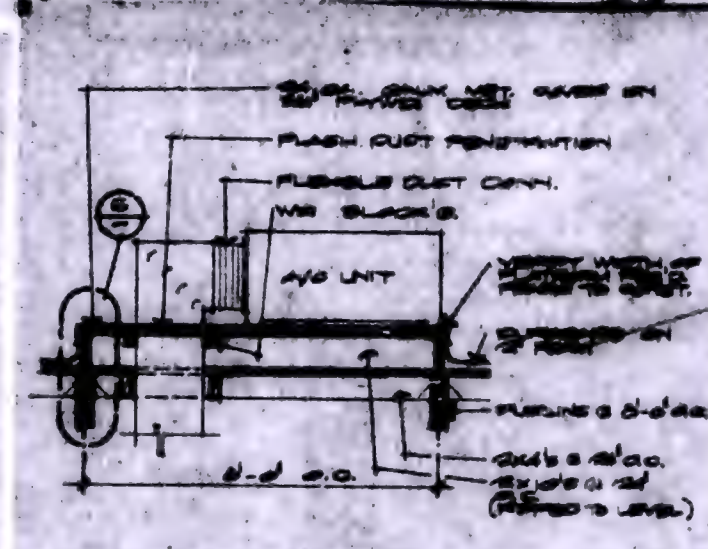
4 STL. LINTEL & H.S. PANEL



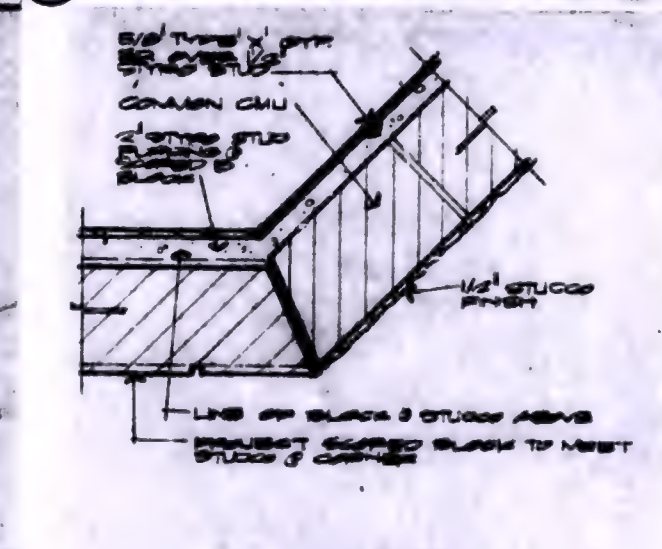
5 1\"/>



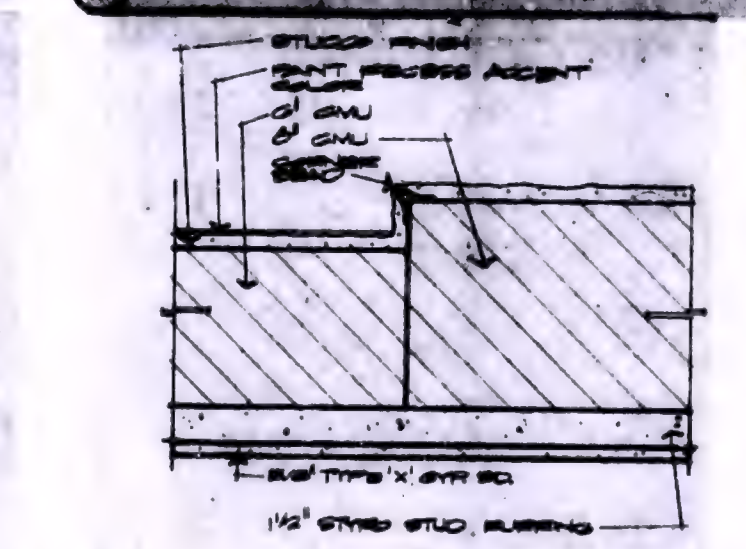
6 CURB DETAIL



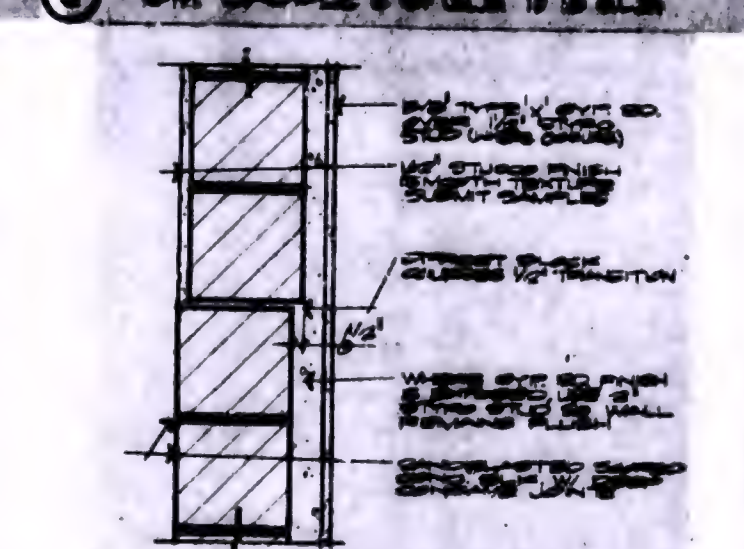
7 MECH. EQUIP. CURB



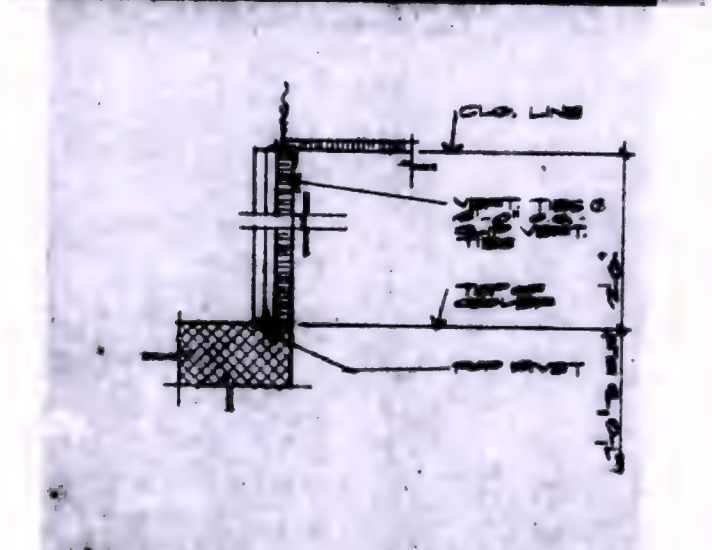
8 BLK. TRANSITION & ENTRY



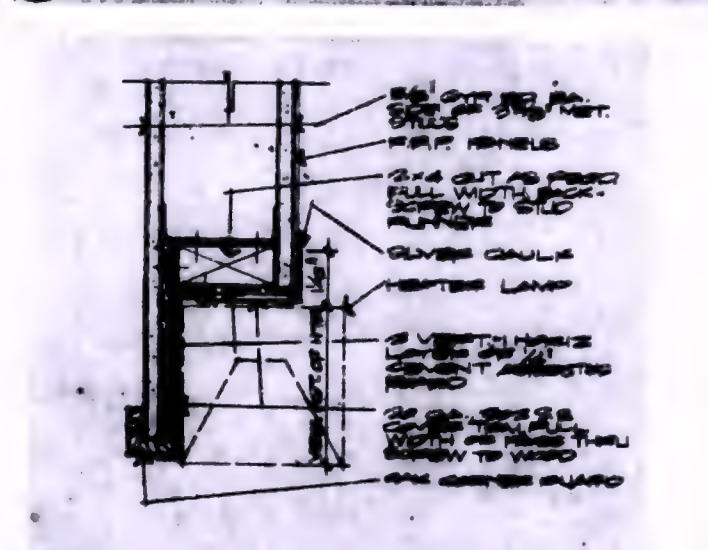
9 REVEAL & PTR. EXT. ACCENTS



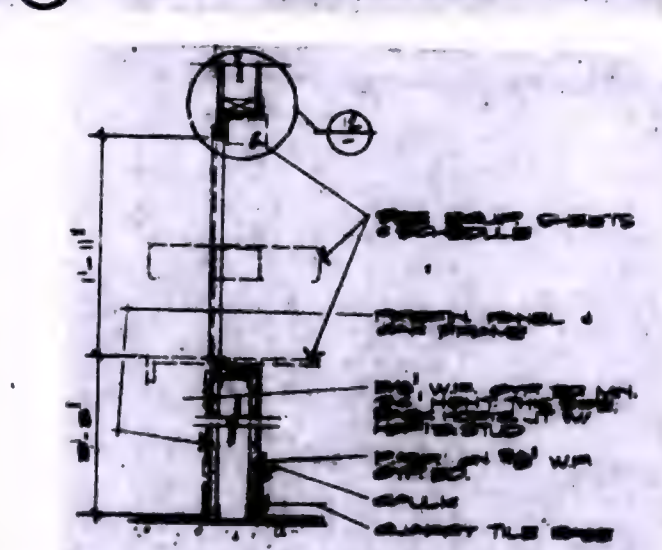
10 STUCCO / BLK. TRANSITION



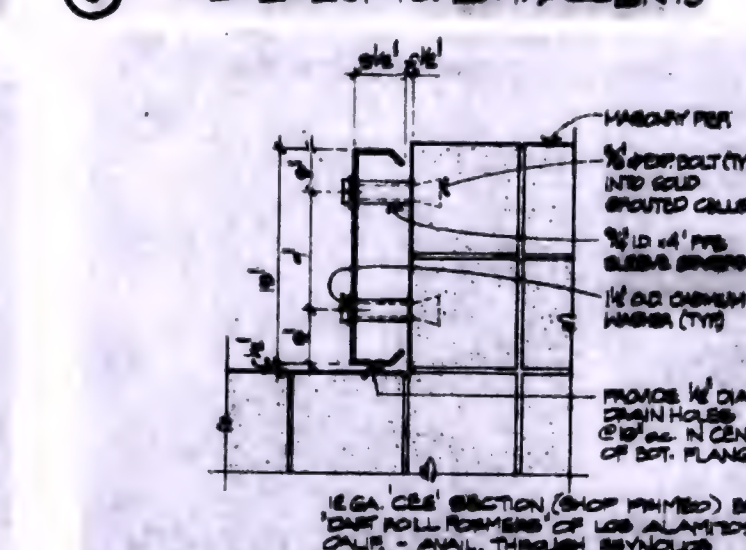
11 DROP & COOLER



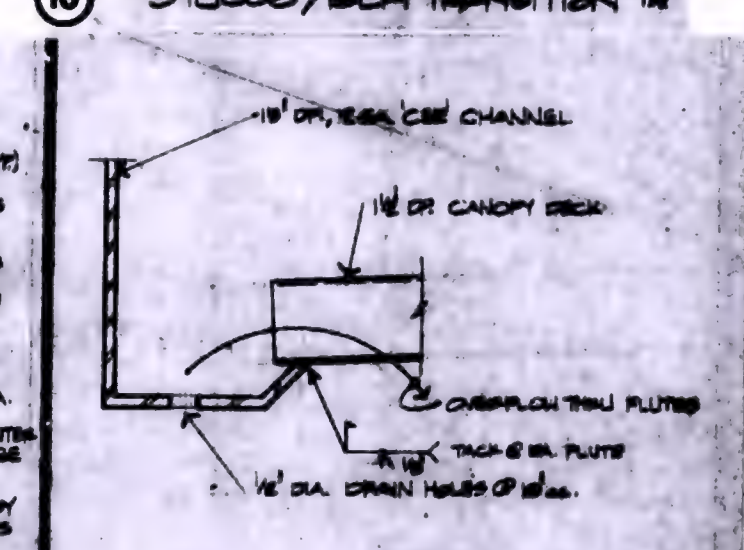
12 HEAD & COOLER PICKUP



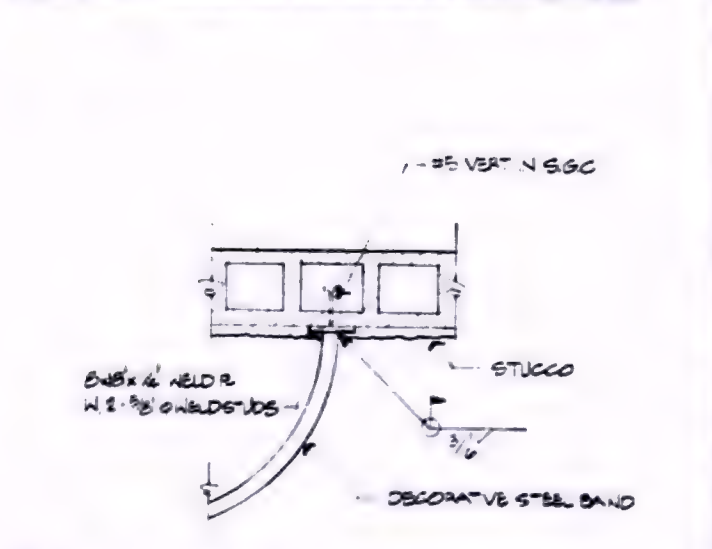
13 PICKUP CURB



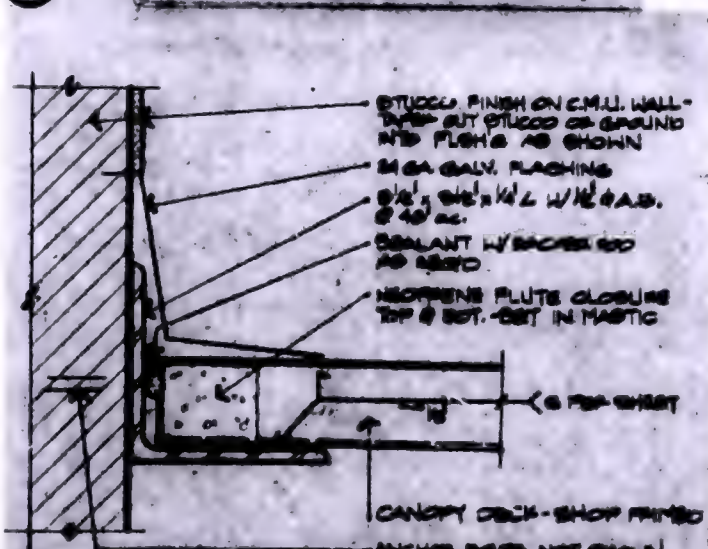
14 TYPICAL PAN CHANNEL ANCHORAGE



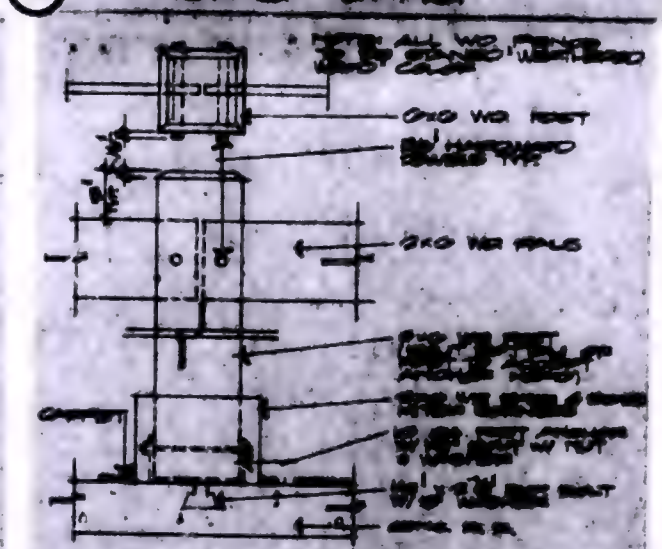
15 CANOPY DECK TO STL. BANDS



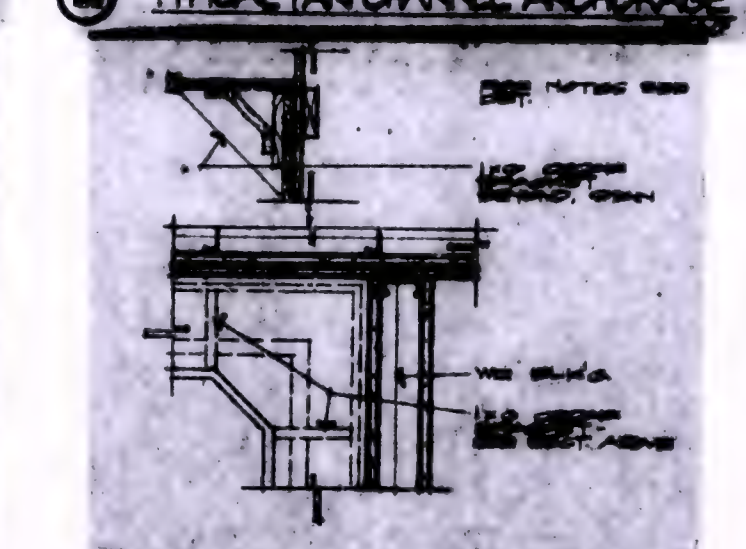
16 WELD PLATE / DECORATIVE BAND



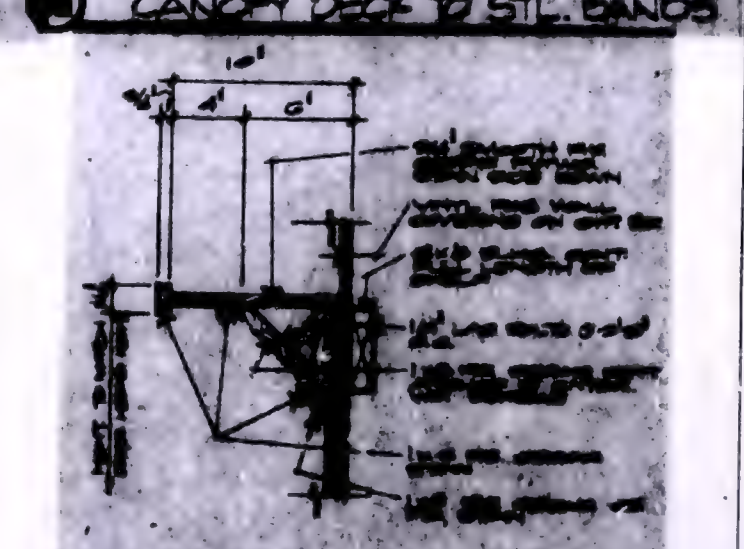
17 CANOPY LEDGER BUILDING



18 FENCE POST



19 MON. SHELF & COOLER



20 SHELF & COOLER

# SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.  
S-M PIZZA INC. STORE NO. 2  
2990 E. NORTHERN AVENUE - SUITE 10C  
PHOENIX, ARIZONA

DATE: 12-15-80  
JOB NO: 8564  
PROJECT MGR: SEC  
DRAWN BY: ECF  
REVIEWED BY:

REVISION DATES

UNBERGER ASSOCIATES  
LAND PLANNING-ARCHITECTURE-LANDSCAPE ARCHITECTURE

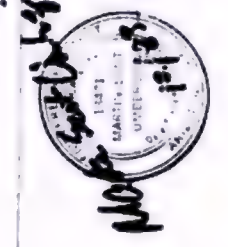
PHOENIX, ARIZONA 85014 (602) 361-3617







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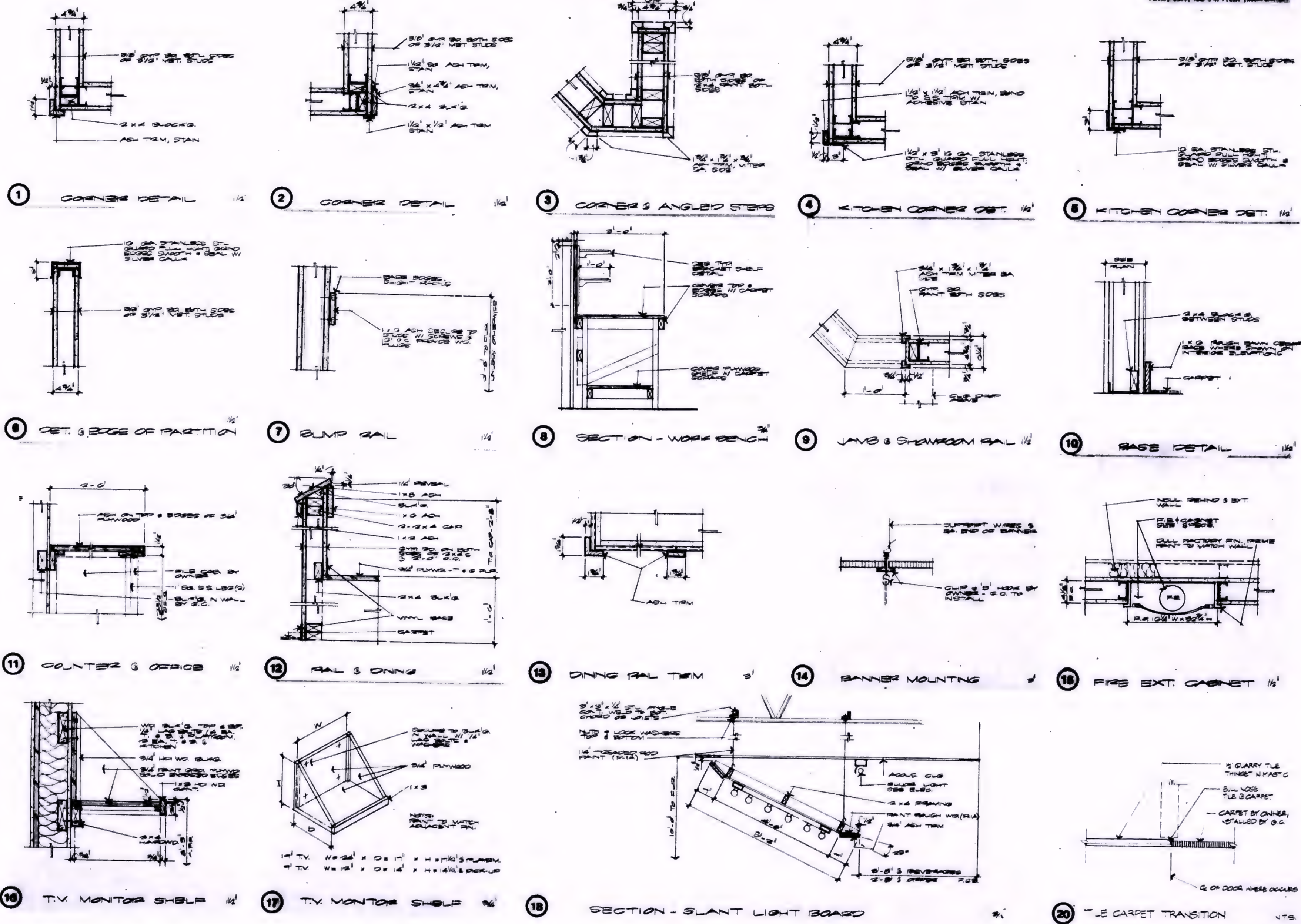


# SHOWBIZ PIZZA PLACE

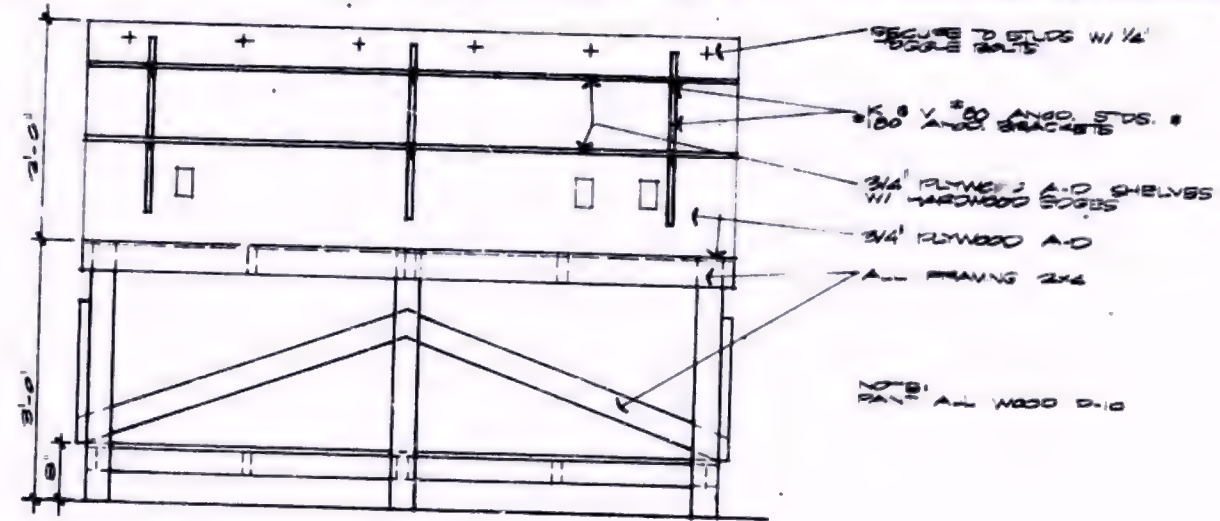
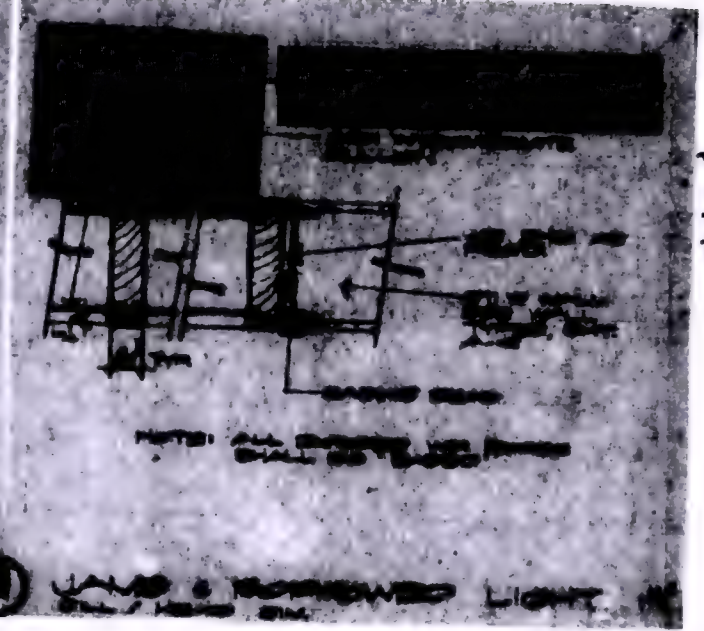
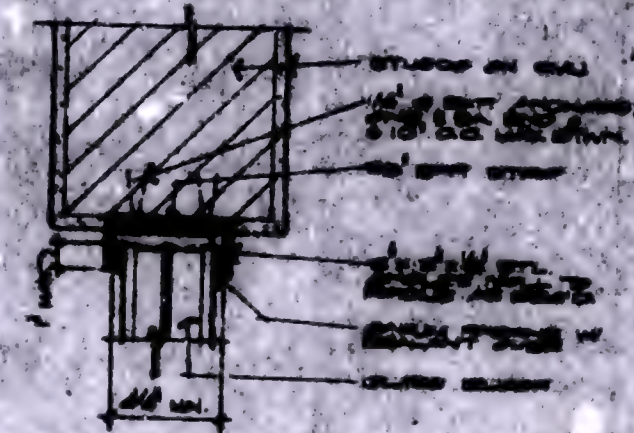
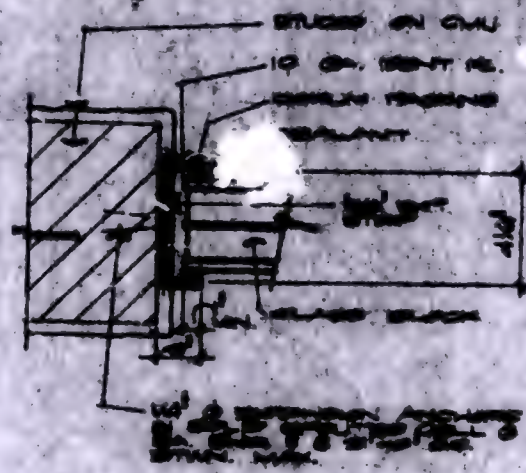
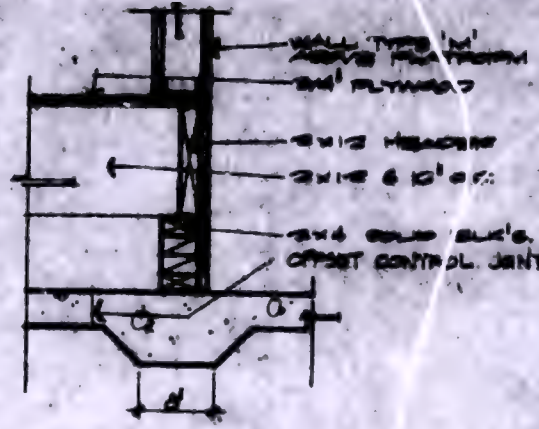
856 S. ALMA SCHOOL RD.  
S-M PIZZA INC. STORE NO. 2  
2990 E. NORTHERN AVENUE - SUITE 10C  
PHOENIX, ARIZONA

UNBERGER ASSOCIATES  
LAND PLANNING ARCHITECTURE

DATE: 12.2.76  
FOR NO. 2990  
PROJECT MFR. BY: F. E.  
DRAWINGS BY: F. E.  
REVIEWED BY: F. E.







DATE:

**ON THE**

FROM THE MOUNTAINS

**REVIEWED BY:**

1999

**REVISION DATES:**

**LYBERGER ASSOCIATES**  
LAND PLANNING ARCHITECTURE INTERIORS

LAND PLANNING ARCHITECTURE LANDSCAPE ARCHITECTURE

# SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL, RD.

S-M PIZZA INC. STORE NO. 2  
2000 E. NORTHWEST AVENUE

4550 E. NORTHERN AVENUE • SUITE 400  
PHOENIX, ARIZONA

THE UNIVERSITY OF CHICAGO

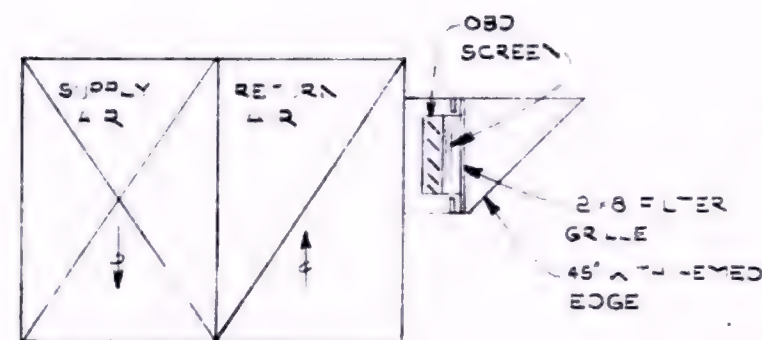
415 EAST CAMELBACK ROAD SUITE 205

PHOENIX, ARIZONA 85014 • (602) 961-9617

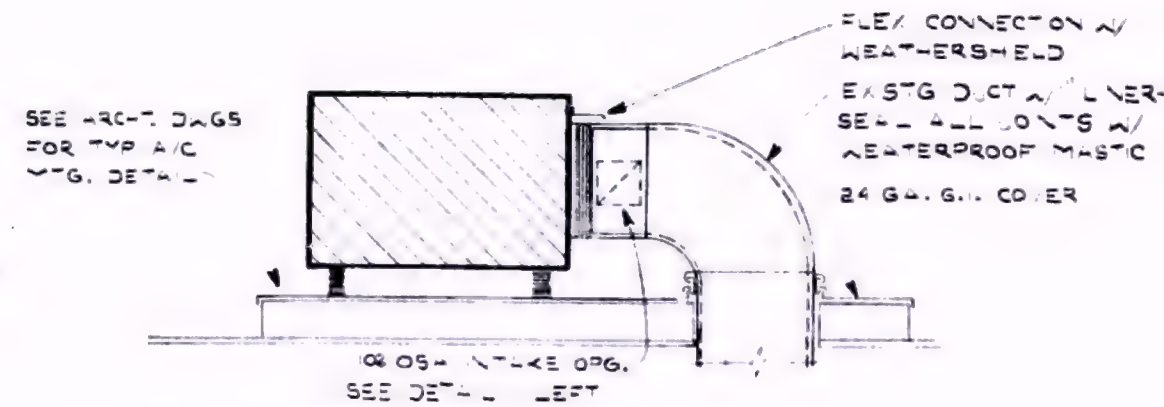




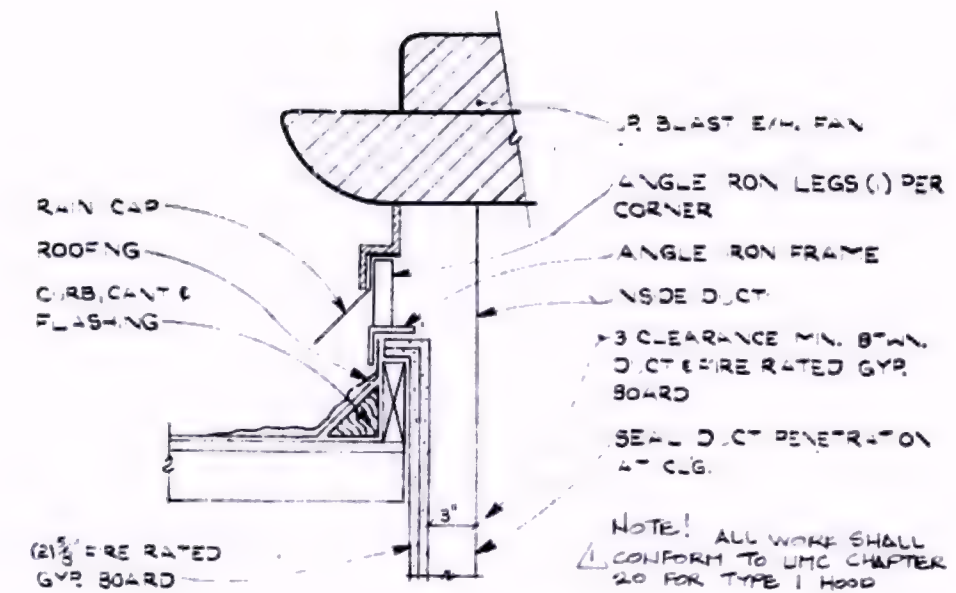




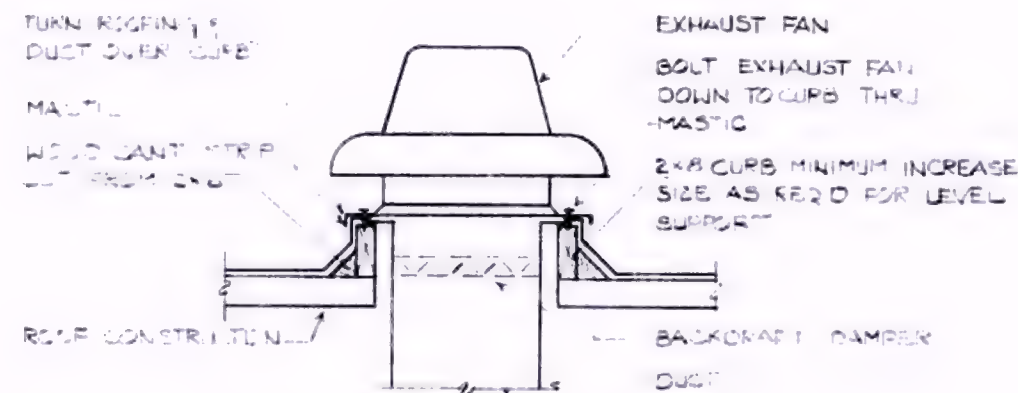
OS-INTAKE DETAIL  
NTS



AC MOUNTING DETAIL  
NTS



KTC-EN EXH. FAN #2 DETAIL  
NTS



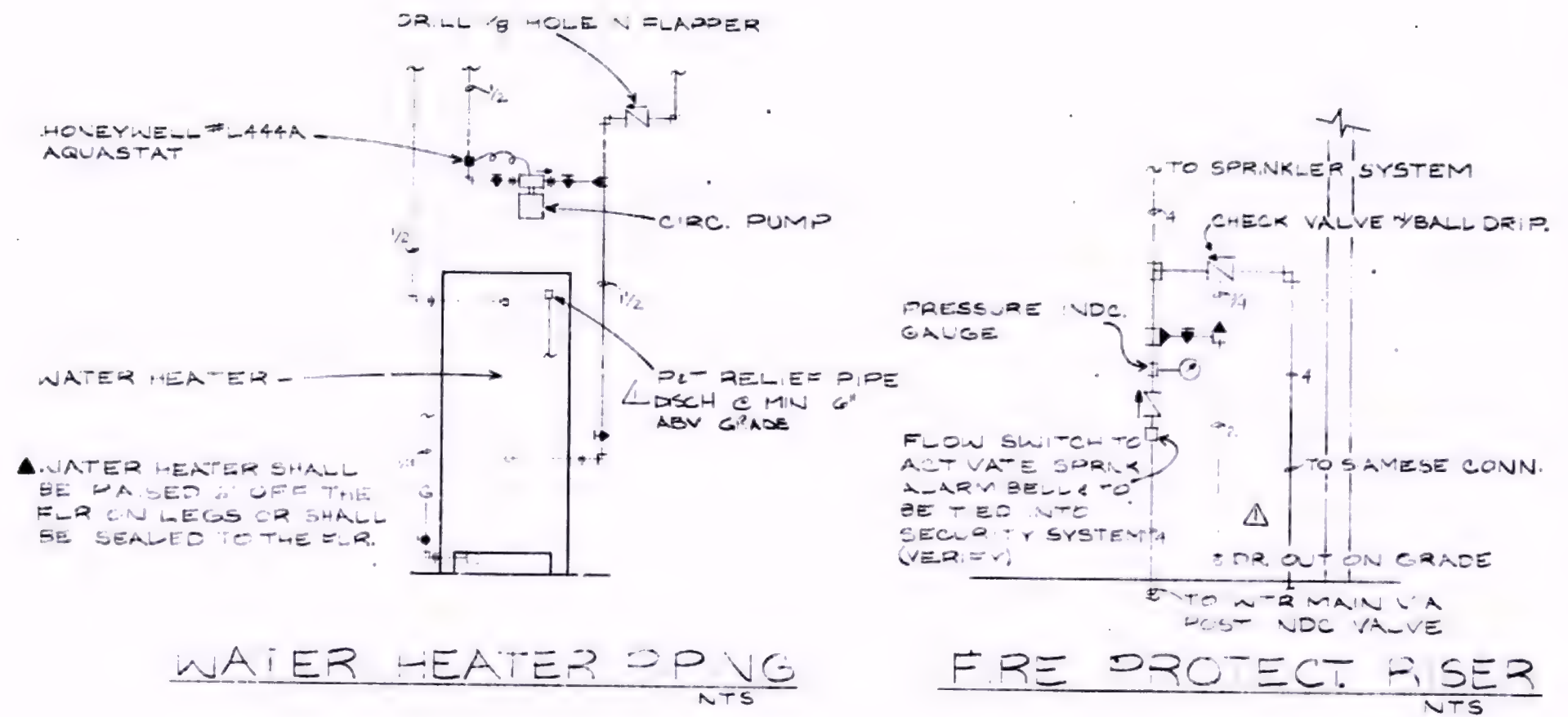
ROOF MTD EXH FAN #3 DETAIL  
NTS

EQUIPMENT SCHEDULE	
A/C SYSTEM - ROOF TOP PACKAGE ELECT. COOL. & HTR. CARRIER	
A/C #8 - 2 1/2 TON - NOM 1000 CFM @ .8" SP/20.0 MBH	
SENS. @ 80°/63°/115° / 13.5 RLA COMPR. / 1.3 RLA	
ODP / 2.4 RLA IDF & 7 1/2 KW HTR. @ 200 V 3φ /	
#50YH030 / 850 lbs.	
A/C #1-7,9,10 - 5 TON - NOM 2000 CFM @ .4" SP/42.0 MBH	
SENS. @ 80°/63°/115° / 22.0 RLA COMPR. / 3.2 RLA	
ODP / 4.9 RLA IDF & 7 1/2 KW HTR. @ 208 V 3φ /	
#50BH006 / 500 lbs.	
EF #1 - ROOF MTD. CENTRIF. / BELT DRIVE / 835 CFM @ .25" SP /	
1/3 HP @ 120 V 1φ / COOK #13UC110	
EF #2 - ROOF MTD. CENTRIF. UP BLAST / BELT DRIVE / 1089 CFM @	
.375" SP / 1/4 HP @ 120 V 1φ / COOK #12UR170	
EF #3 - ROOF MTD. CENTRIF. / BELT DRIVE / 1596 CFM @ .25" SP /	
1/4 HP @ 120 V 1φ / COOK #15UC110	
EF #4 - CLUG. MTD. CENTRIF. / 300 CFM @ .125" / 2.3 AMP MTR. @ 120 V 1φ /	
BROAN #363 W/ 4x10 DISCH. THRU ROOF TO CAP	









WATER HEATER PIPING  
NTS

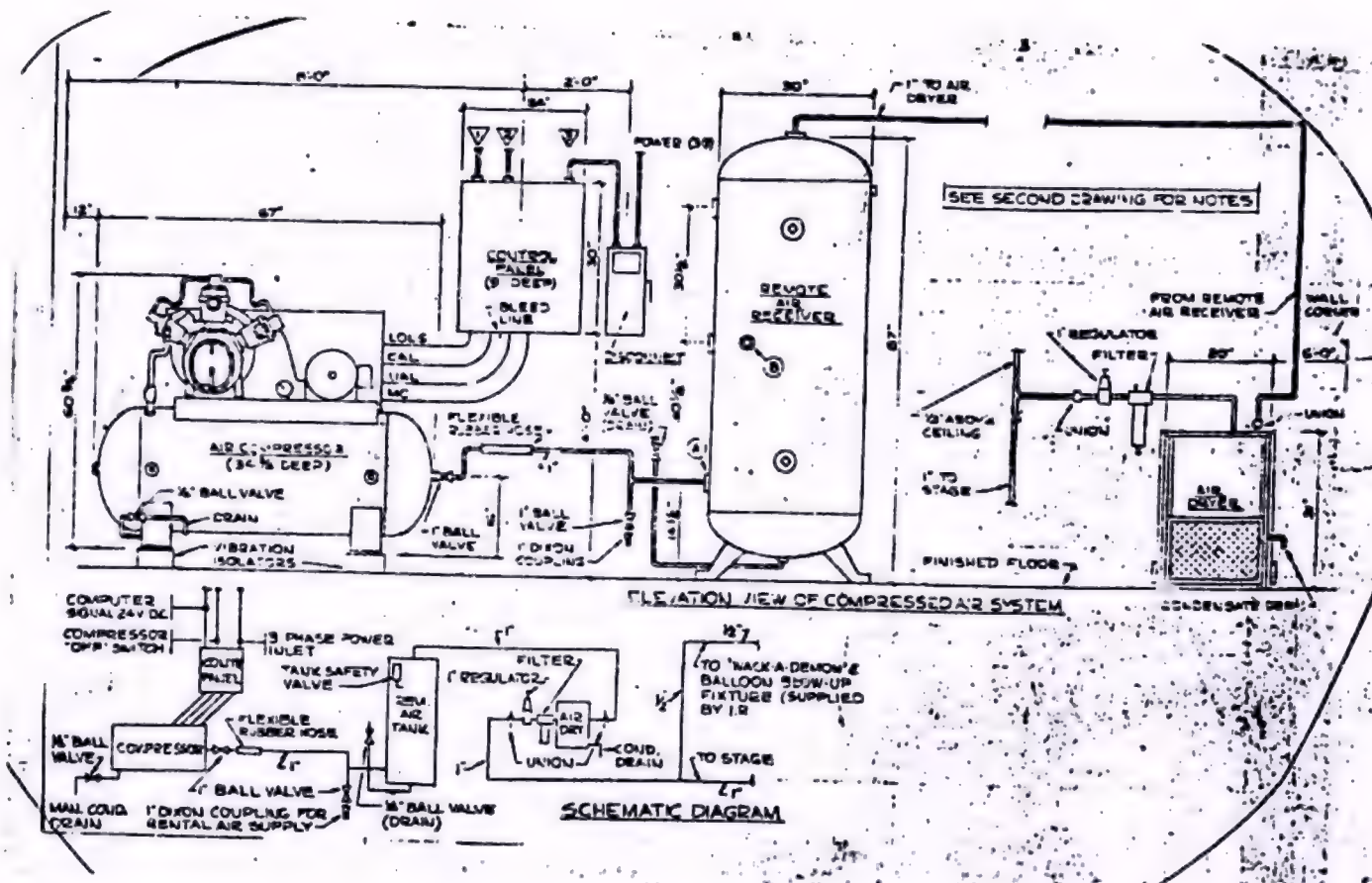
FIRE PROTECT. RISER  
NTS

### GENERAL NOTES:

- 1) SUPPORT ALL OVERHEAD SYSTEMS FROM ROOF STRUCTURE. DO NOT ATTACH TO CEILING.
- 2) MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES ON ALL ITEMS OF EQUIPMENT.
- 3) VERIFY SERVICE POINTS & METERING LOCATIONS WITH SERVING UTILITIES FOR PROJECT NAT. GAS, DOMESTIC WATER, FIRE PROTECTION WATER & SANITARY SEWER.
- 4) MOUNT ALL HOSE BIBBS 2'-0" ABV. GRADE UNLESS OTHERWISE NOTED.
- 5) ALL EXPOSED HORIZONTAL PIPING RUNS (CONDENSATE LINES, GAS LINES, ETC.) IN KITCHEN AND ALL RELATED FOOD PREP & STORAGE AREAS SHALL BE MIN. 6" CLEAR ABV. FLOOR IN RECESSED ENCLOSURE W/ LOCKING DOOR.
- 6) ALL PIPING IN EXTERIOR WALLS SHALL BE KEPT ON INTERIOR OF ALL INSULATION.

### NOTES:

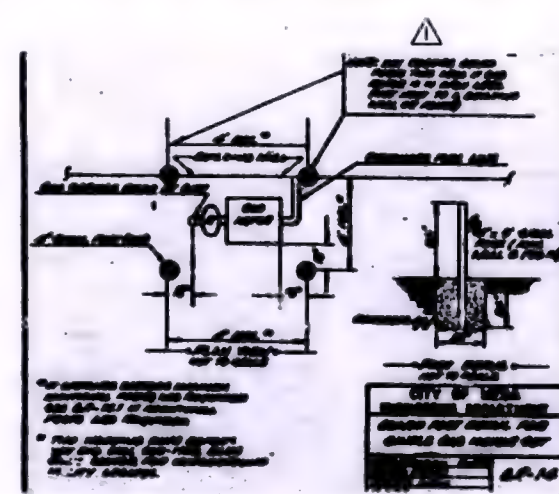
- 1) PROVIDE 1" BRASS BALL SHUTOFF VALVE AT OUTLET. PROVIDE REDUCER & 1/2" U.P.T. THREADED MALE CONNECTION FOR MANIFOLD INSTALLATION. (MANIFOLD FURNISHED BY OWNER & INSTALLED BY PLBG CONTR.) LOCATE UNDER ACCESS DOOR.
- 2) AIR COMPRESSOR, DRIER, & AIR STORAGE TANK FURN. BY OWNER & INSTALLED BY PLBG CONTRACTOR.
- 3) DROP IN VALVED DRIP POCKET TO BENEATH STAGE.
- 4) UNDER STAGE, SLOPE TO DR. TOWARDS COMPRESSOR RM.
- 5) VALVE ALL AIR LINES PRIOR TO LEAVING COMPRESSOR RM. PACK PIPE SLEEVES IN COMPRESSOR RM. WALL W/ SOUND ABSORBENT MATERIAL.
- 6) 1/2" DROP TO VALVED TERMINATION 48" AFF.
- 7) 1/2" DROP TO VALVED TERMINATION FOR GALLON BLOWUP STATION. CONN. BY PLBG CONTR.
- 8) RUN SODA & BEER LINES IN 6" PVC W/ 10' OR 24" RADIUS CORNERS. RUN FROM DRINK DISPENSERS TO BEV. COUNTERS, VERIFY W/ OWNER.
- 9) INSTALL IN-LINE STAINER ON ICE MACHINE. (STAINER IS SHIPPED TAPED TO INSIDE OF ICE MACHINE CABINET)
- 10) INSTALL REFRIGERANT LINES ON ICE MACHINE W/ LOOP TO ALLOW MACHINE TO BE MOVED 24" OUT FROM WALL FOR MAINTENANCE. INSTALL WTR LINE 1" DIAM.



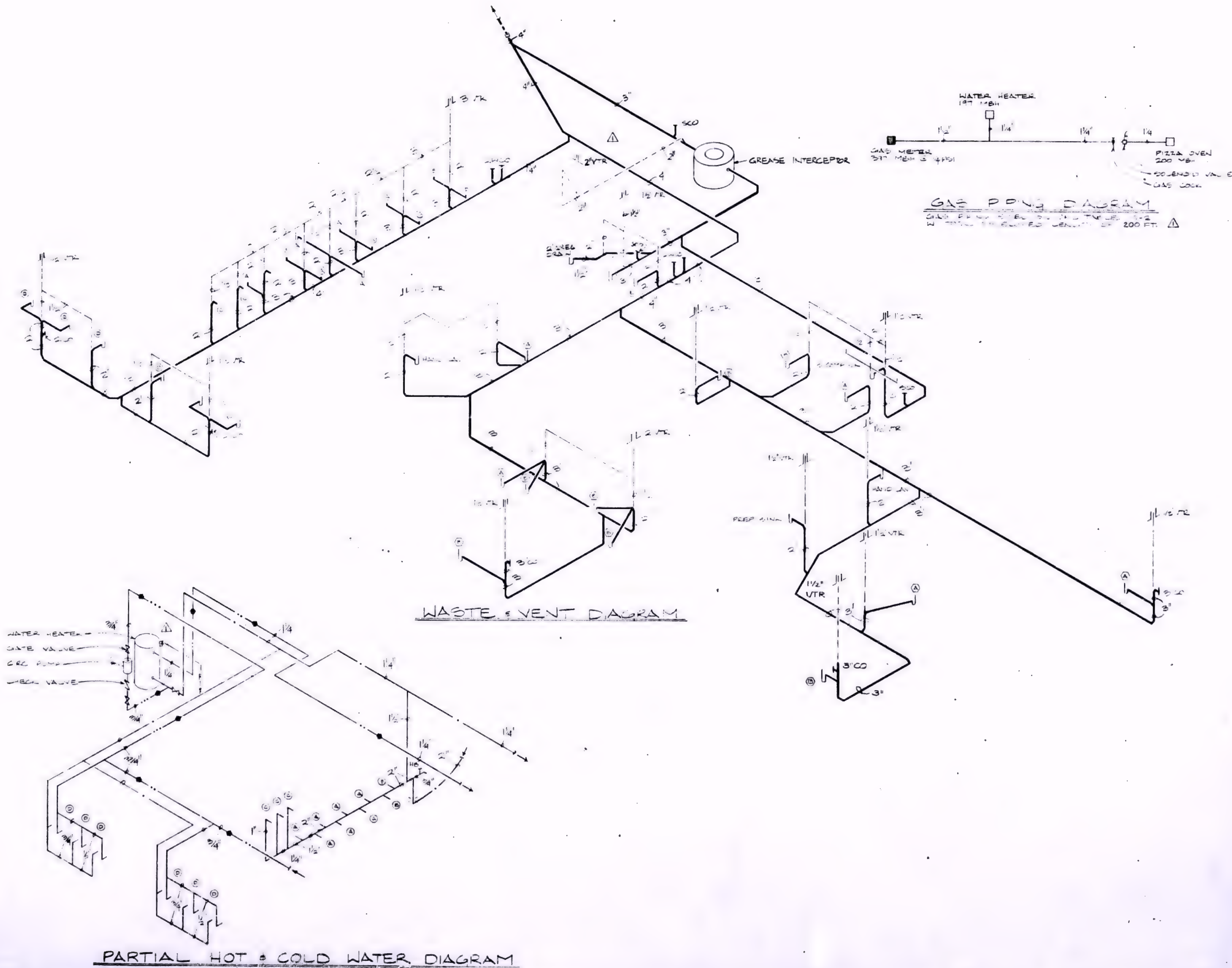
AIR COMPRESSOR DIAG  
NTS

### GAS SERVICE GENERAL NOTES:

1. The owner, developer, or contractor shall locate and mark all privately owned underground structures that will conflict with proposed gas system facilities. The City of Mesa shall not be responsible for damage to underground structures that are not located and marked correctly.
2. The owner, developer or plumbing contractor shall contact Bob Carter of the City of Mesa Utility Operations Department at 834-2449, prior to any installation of the customer's gas piping at the gas meter location.
3. The owner, developer or contractor shall install guard posts as per 0.7.-14 Detail.







**SHOWBIZ PIZZA PLACE**  
 656 S. ALMA SCHOOL RD.  
 S-M PIZZA INC. STORE NO. 2  
 2990 E. NORTHERN AVENUE - SUITE 100  
 PHOENIX, ARIZONA

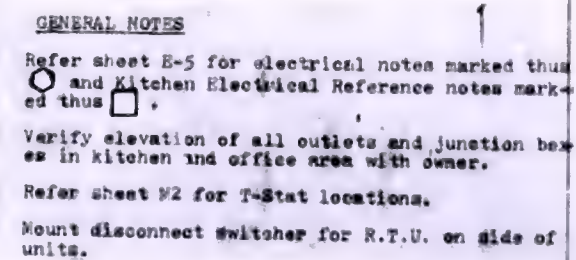
UNBERGER ASSOCIATES  
 LAND PLANNING-ARCHITECTURE-LANDSCAPE ARCHITECTURE

DATE: 10-3-83  
 JOB NO.:  
 PROJECT MGR.:  
 DRAWING BY: MCH  
 REVIEWED BY: TAF

REVISION: DATES  
 1. 10-15-83

PHOENIX, ARIZONA 85014 - (602) 361-3817





# ELECTRICAL FLOOR PLAN

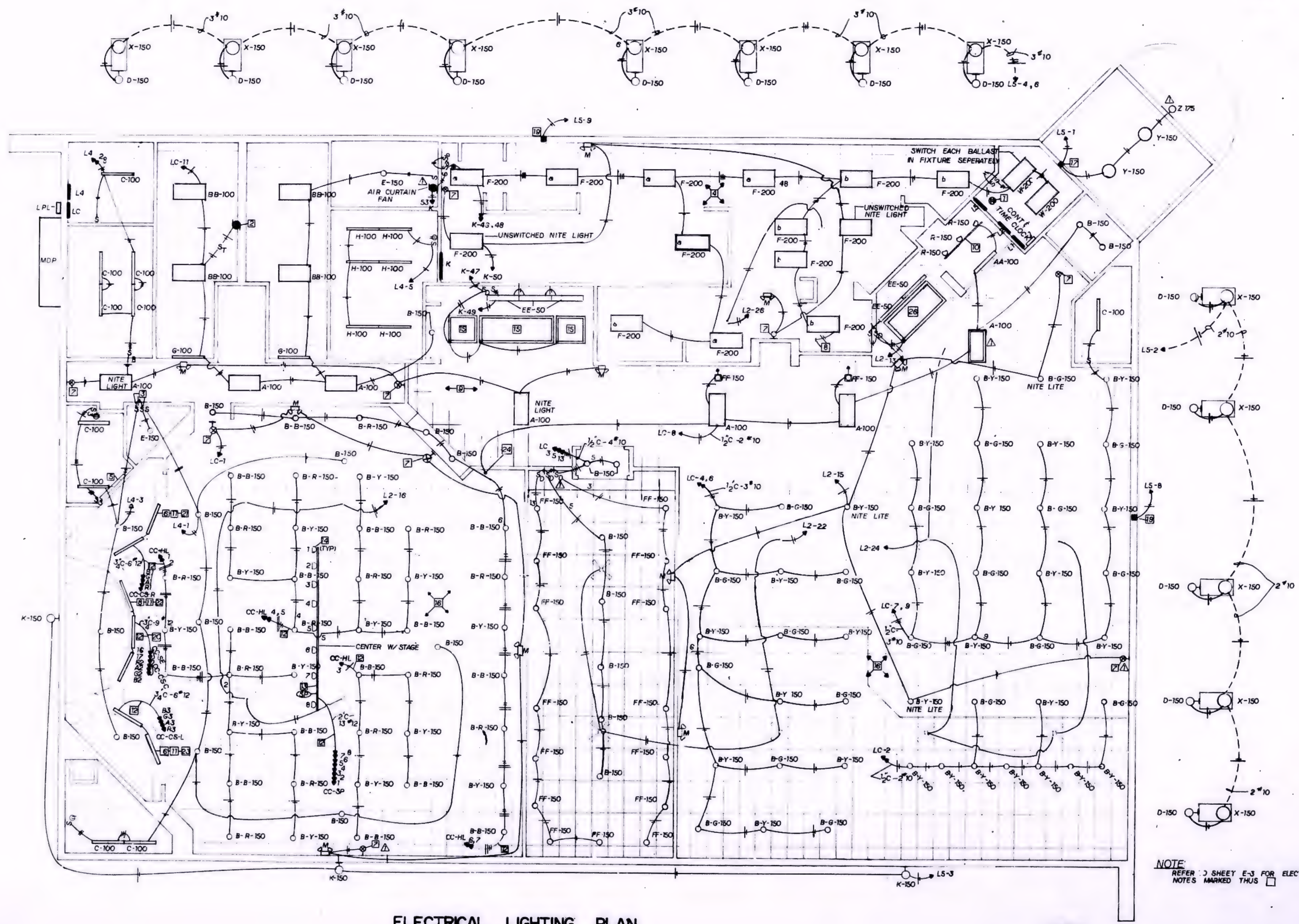
SCALE  $\frac{1}{16}'' = 1'-0''$



# SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.  
S-M PIZZA INC. STORE NO. 2  
2000 E. NORTHERN AVENUE - SUITE 100  
PHOENIX, ARIZONA

DATE: 11-14-83  
PROJECT MGR: [blank]  
DRAWING BY: RSW  
REVIEWED BY: [blank]  
LAND PLANNING ARCHITECTURE



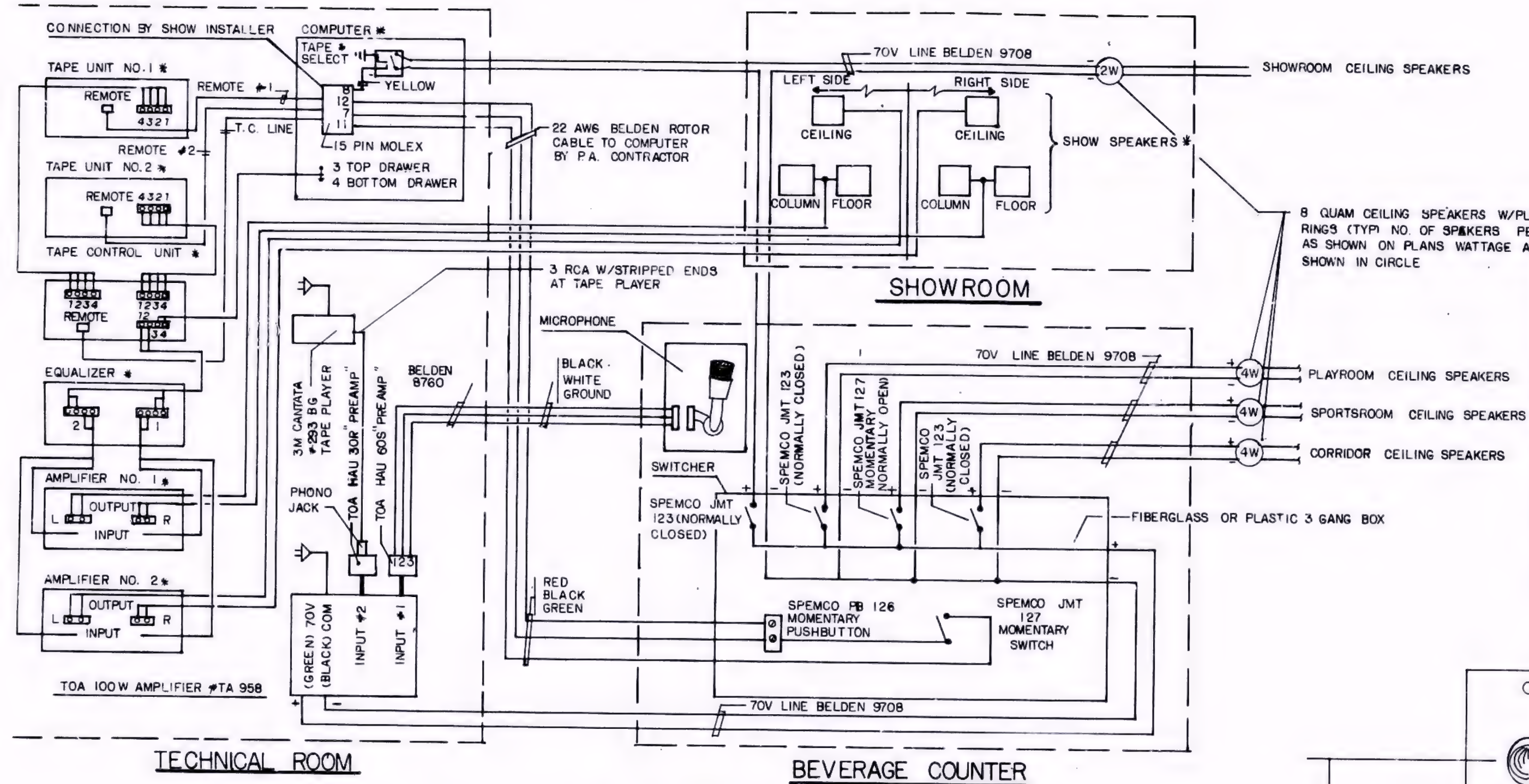
**ELECTRICAL LIGHTING PLAN**  
SCALE 3/16\"/>

NOTE:  
REFER TO SHEET E-3 FOR ELECTRICAL  
NOTES MARKED THUS [symbol]

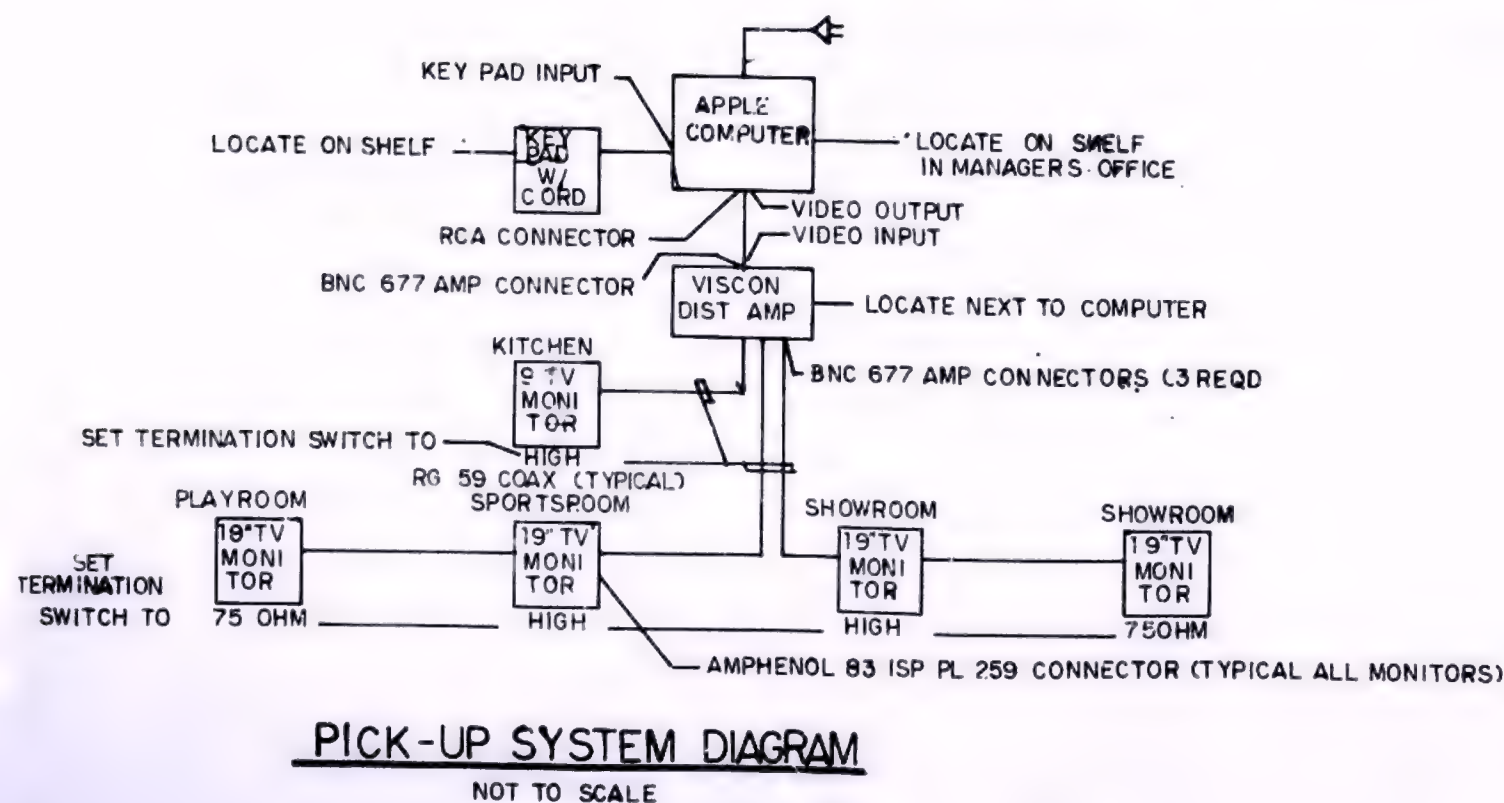
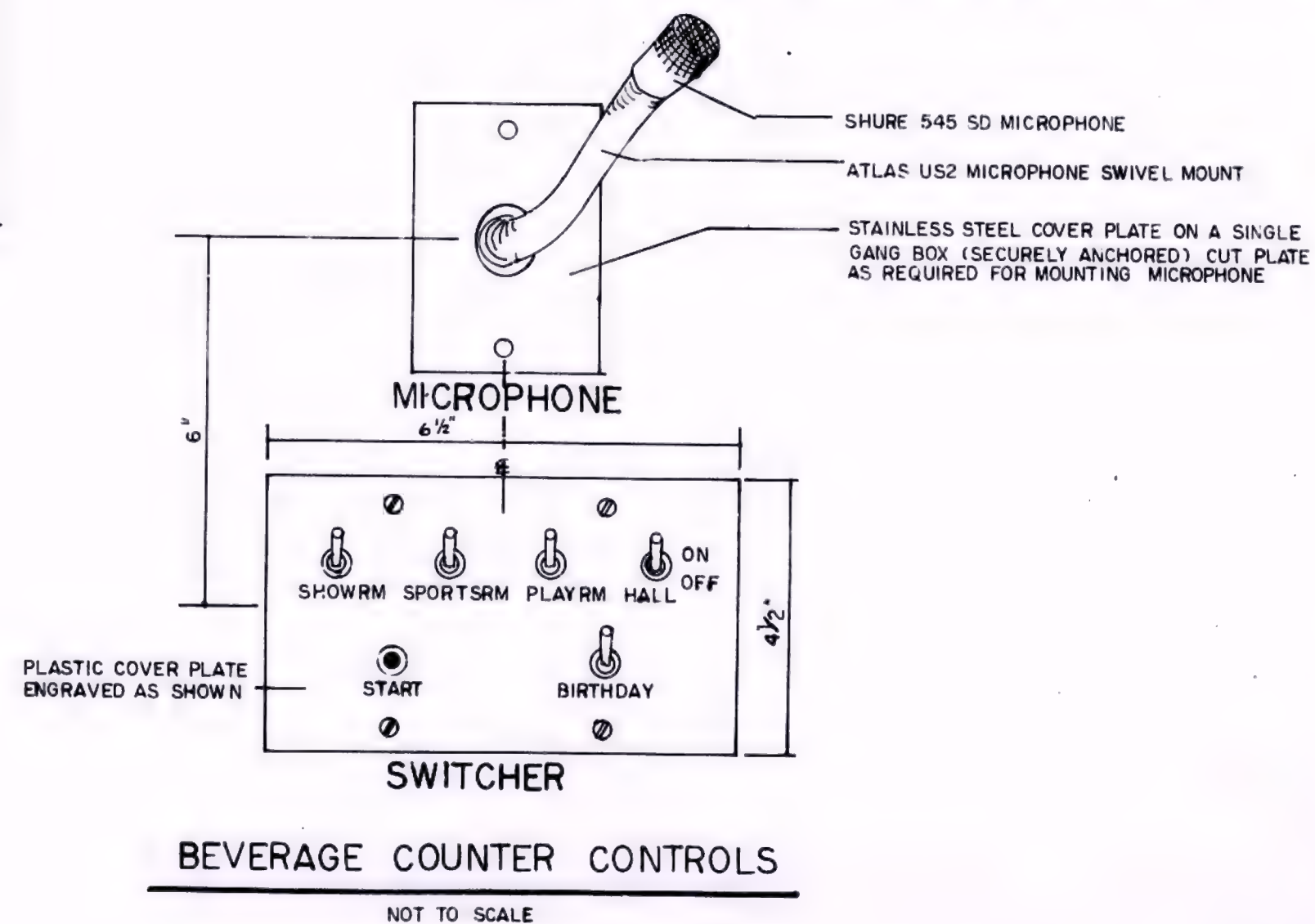








SPECIALIZED PARTS & EQUIPMENT LIST				
QUAN	BRAND NAME	MODEL NO.	ITEM	WHERE USED
1	TOA	TA958	100W AMPLIFIER	P.A./AUDIO SYSTEM
1	TOA	HAU60S	PREAMP	
1	TOA	HAU30R	PREAMP	
1	SHURE	545SD	MICROPHONE	
1	ATLAS	US2	SWIVEL MIC MT	
VARIES	QUAM	C10X/B7OWP	SPEAKER	
VARIES	LOWELL	RMP8	PLASTER RING	
VARIES	BELDEN	9708	2 COND CORD	
VARIES	BELDEN	8760	18GA MIC CABLE	
1	3M	293BG	TAPE PLAYER	
1	VICON	210	DIST AMPLIFIER	PICK-UP SYSTEM
5	SANYO	VM4219	19 TV MONITOR	
1	SANYO	VM4509	9 TV MONITOR	
3	E.M.I.	MCM19	CEILING MOUNTS	
1	GEN DESIGN INC	PICKUPEPROM	PRINTED CKT BD.	
1	GEN DESIGN INC	REPLMT PROM	PRINTED CKT BD.	
1	PLEXART DES INC		KEY PAD HOLDER	
1	APPLE	II	COMPUTER	
1	A.B.T.		KEY PAD	





1. 1/2" x 1/2" x 1/2" conduit to connect from computer room adjacent to air conditioning control panel. Connect 2 #12 to terminals 5 and 6 in control panel 36.
2. TV Monitor Station: Furnish and install flush grounding duplex receptacle for TV power and adjacent blanked 1-G switchbox for TV cabling. Run 3/4" with RG59U (Note 23) from switchbox as noted. Set receptacle and switchbox in recess by General Contractor or above shelf provided for TV monitor.
3. World No. 1-5 white, vandalproof hand dryer--30 seconds/2300 watts/120 volts.--furnished by owner, installed by this contractor.
4. Not Used.
5. 3/4" Conduit with pull-wire to telephone terminal board.
6. Verify all floor outlet locations with owner before installation.
7. Exhaust Fan #3.
8. Extend 2 conductor curtain motor circuit to ACB in Panel L3 for switching control by Owner.
9. Duplex grounding outlet for animated character computer--circuit from phase "A".
10. Duplex grounding outlet for animated character audio system--circuit from phase "B"--not phase "A".
11. EAF 100-B Control Panel with panel L3. Refer sheet E6 for details.
12. Flush telephone outlet--44" AFF.
13. Animated character computer and audio.
14. Locate under counter in back wall of cabinet 34" AFF and beside box 22.
15. 4" x 4" x 3/4" plywood telephone service backboard. Provide raceway to service point in compliance with utility requirements.
16. Exhaust Fan #2.
17. 1/2 HP, 120V, single phase air driver.
18. 20 HP, 208V, 3 phase air compressor for animated characters.
19. Low oil level switch wiring (120V) - 1/2" x 2 #12 (connect to control panel terminals 7 and 8).
20. GFI receptacle in east box with gasketed spring cover. Install on rooftop unit.
21. 1/2" Conduit with RG59U Coax to TV J-Box in Technical Room. Leave 72" slack at terminations.
22. 12" x 12" x 6" square, flush and blanked TV monitor JB set with centerline 34" AFF and beside receptacle 14.
23. 3/4" with RG59U Coax. Leave 12" slack at terminations this contract.
24. Furnish and install three wall-mounted flush and blanked junction boxes with one 1-gang cover plate for audio set with center-line 60" AFF. Run 1" x 3" nipple out top of box to single-gang blanked switch box provided for microphone installation. Extend 1" conduit out of top of this box up to 4-11/16" square box located above ceiling. Run 1/2" audio conduits with pull wires out of this box to Games room, Sports room, corridor, Showroom and Computer room as indicated on drawings E1 and E4.
25. Blanked 4" octagon box above ceiling for speaker connection. Speaker connection by owner.
26. Furnish and install 1/2" EMT with pull-wire to audio JB Mark 24 for audio cabling by owner. Install minimum 6' of 1/2" flexible conduit at connection to speaker JB.
27. Furnish and install 1/2" EMT with pull-wire for audio cabling by owner. Install minimum 6' of 1/2" flexible conduit at connection to Speaker JB.
28. Furnish and install 3/4" EMT with pull-wire to audio JB Mark 24 for audio input and output cabling by owner.
29. Furnish and install single-gang switch box 5'-0" center-line AFF for audio cabling.
30. Furnish and install Realoc No. PPL-3-ES-S-PWF/PPL2043 power pole finished in simulated wood grain and black trim and with adjustable foot. Assembly shall include adjustable top T-bar assembly and two 20A duplex grounding receptacles on separate circuits. Extend three No. 12 conductors through 1/2" flexible conduit attached to the top knockout, to supply connection in a blanked JB installed above ceiling system. Provide minimum flex length of 72".
31. Provide accessible and fused Edwards No. 592 outlet box mounting, 24 volt, 20 watt, signal transformer in ceiling cavity. Interconnect with two push-buttons and two signals to place system in full operation. Provide 120 volt supply.
32. Extend 1" rigid conduit up to weatherhead termination for cable TV. Install TV weatherhead 36" minimum above roof line. Provide Putc pipe curb assembly for raceway.
33. Single receptacle in flush ceiling box. (2 thus). Verify location with owner. Refer sheet E7 for details.
34. Typical installation of two single receptacles in common flush box (CCTS 1 and 2). Refer sheet E7 for details.
35. Not Used.
36. Compressed air system control panel furnished by owner--installed this contract.
37. Splice-in permanent wiring connection to heat lamp holders.
38. Install sealing condulets in all conduits entering cooler box (per NEC).
39. Remote air compressor "ON-OFF" switch. Engrave plate "AIR COMPRESSOR".
40. Berko Model FFR-1520-A, 208V/1 phase, 1.5 KW fan-forced wall heater with integral thermostat and surface mounting box.
41. Locate receptacle on wall centerline.
42. Blanked 1" octagon box above ceiling. Furnish and install 1/2" EMT with pull-wire from duct to speaker enclosure at front of platform for audio cabling by owner. Install 6' of 1/2" flexible conduit at connection to speaker JB.
43. Run 1" EMT to 3" square TV JB.
44. 1" PVC with pull-wire to property line for cable TV service. (See site plan).
45. 1/2", 4 #12 from air compressor control panel terminals 1 and 2 to computer room switch Mark 39.

46. 1/2" x 1/2" x 1/2" conduit to connect from computer room adjacent to air conditioning control panel. Connect 2 #12 to terminals 5 and 6 in control panel 36.
47. Furnish and install audio JB 12" AFF. Extend 1/2" EMT with pull-wire to speaker JB's as indicated and three-gang box Mark 24.
48. Not Used.
49. Not Used.
50. 1". 3 #4XHHW to control panel terminals L1, L2, and L3.
51. 1-1/4" sealite furnished by owner and installed by Electrical Contractor with 3 #4XHHW and #4 green-wire ground (compressor power).
52. Center stage pre-wired receptacle raceway "SE-C" with junction box and twelve pre-wired duplex receptacles. This assembly will be installed by Electrical Contractor (see Drawing E6). Run 3/4" EMT with fourteen No. 12 AWG THHN from center junction box to "CC-EE" as follows:
- |                    |                  |
|--------------------|------------------|
| Circuit 1 - Black  | Circuit 11 - Red |
| Circuit 5 - Red    | Neutral - White  |
| Circuit 6 - Blue   | Neutral - White  |
| Circuit 7 - Black  | Neutral - White  |
| Circuit 8 - Red    | Neutral - White  |
| Circuit 9 - Blue   | Ground - Green   |
| Circuit 10 - Black | Ground - Green   |
53. Stage left pre-wired receptacle raceway "SE-L" with four pre-wired duplex receptacles. This assembly will be installed by Electrical Contractor (see Drawing E6). Run 1/2" EMT with seven No. 12 AWG THHN from "SE-L" to "CC-SE" as follows:
- |                    |                 |
|--------------------|-----------------|
| Circuit 12 - Black | Neutral - White |
| Circuit 13 - Red   | Neutral - White |
| Circuit 14 - Blue  | Ground - Green  |
| Circuit 15 - Black | Ground - Green  |
54. Not Used.
55. Provide a 30A - 120 volt Twist-Lok receptacle in head style floor box (Model S-6088 or equal). Provide 6" of SJ-2 #10 shop cord with 30A, 120 volt Twist-Lok plug (for use with receptacle in floor) on one end and a Woodhead receptacle box, complete with 30V, 120 volt duplex receptacle outlet in box, on the other end of cord.
56. This piece of equipment will require hard-wired connection.
57. Provide outlet to match plug on this piece of equipment. Verify voltage and amp rating required for outlet.

KITCHEN ELECTRICAL REFERENCE NOTES

- A Undercounter Refrigerator, provide electrical connections at two elevations. (See Arch. details).
- B 3 - #10 in 1/2" Conduit (includes green wire ground.)
- C 2 - #10 in 1/2" Conduit to 30 amp 1-pole breaker.
- D Clean circuit for "Point of Sales" system. Provide with separate green wire ground. 3 - #10 in 1/2" Conduit to 30A, 1-pole breaker in panel L2. Run green wire ground to building service ground.
- E Refer to kitchen equipment drawings for equipment identification. Kitchen equipment will be provided by Kitchen Equipment Supplier. Electrical Contractor shall make all required electrical connections. Electrical contractor shall provide junction boxes, connecting devices and other accessories as required. Verify all dimensions with Kitchen Equipment Supplier before roughing-in.
- F Cooler lights, cooler blower, and door heaters.
- G 3/4 HP, 120 volt, single phase rooftop exhaust (see Mech. plans).
- H Locate exhaust controller as directed.
- I Remote air-cooled condenser for ice cuber K-29.
- J Grounding single receptacle for "Point of Sales" system.
- K Grounding single receptacle for printer on shelf.
- L Provide 1" square flush and blanked junction box for "Point of Sales" system cabling. Mount adjacent to receptacle. Run 1/2" EMT up and through ceiling as indicated.
- M 1/2" EMT with Belden #8444, 4 conductor stranded cable. Cable to be run continuous, without any splices, from junction box to junction box leaving 3'-0" loop at each J-Box.
- N 4-Plex Outlet; clean circuit for "Point of Sales" system CPU with separate green wire ground run to building service ground.

ELECTRICAL SYMBOLS LIST

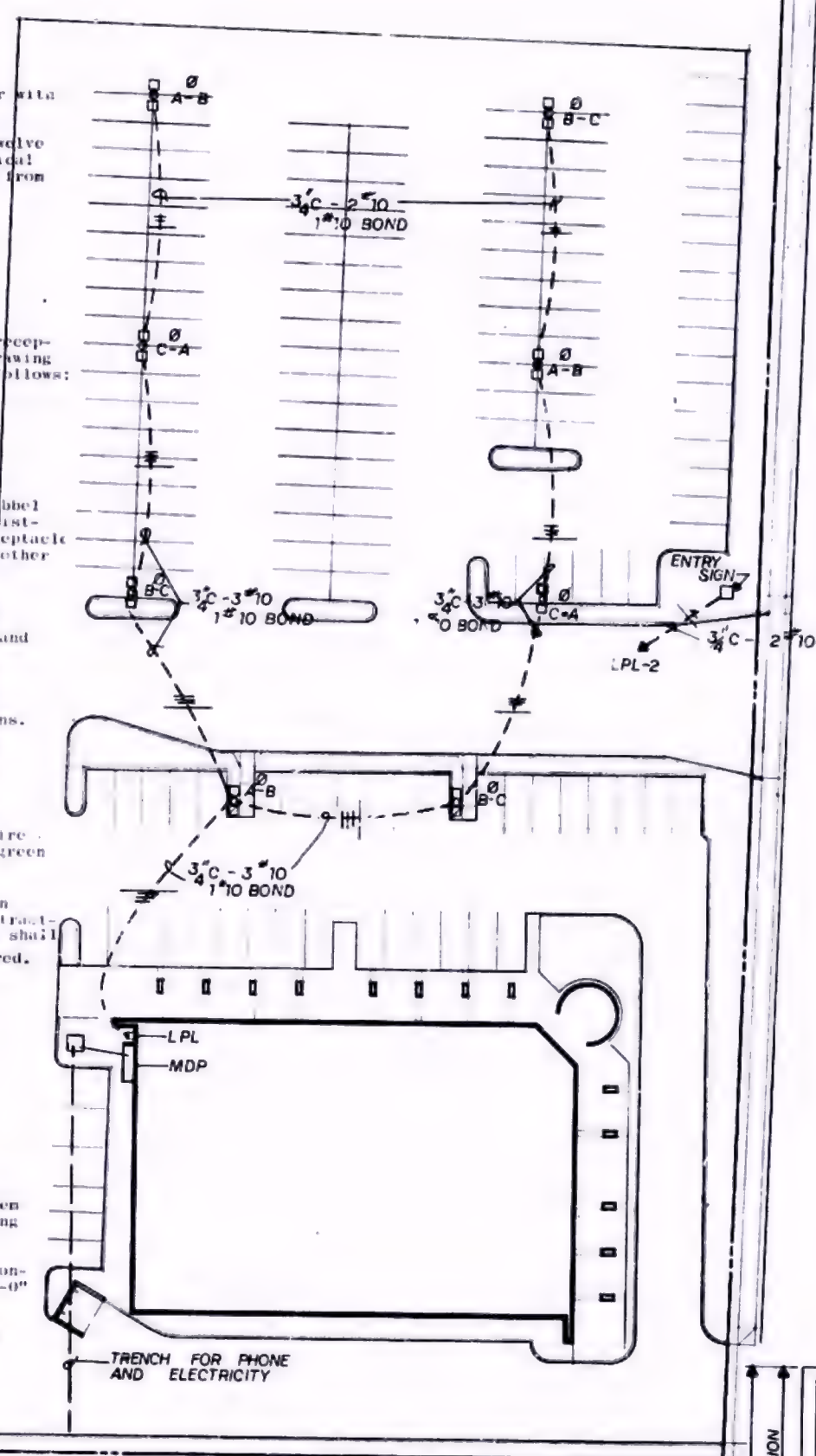
- 2- #12 in 1/2" Conduit above Floor
- 2- #12 in 1/2" Conduit below Floor
- Home-run to Panel L1, Ckt. #1, 2, & 3
- Separate Green Wire Ground
- Panelboard
- Safety Switch
- SPST Switch
- 3-Way Switch
- Dimmer Switch
- Switch w/Thermal overload protection
- Switch w/Pilot Light
- Switch w/Receptacle in 2 gang box
- Grounding Duplex Receptacle
- Weatherproof Receptacle
- Game Recept. Duplex Grounding type
- Floor Receptacle
- Thermostat, Night-stal
- Junction Box, Motor



SITE LIGHTING PLAN

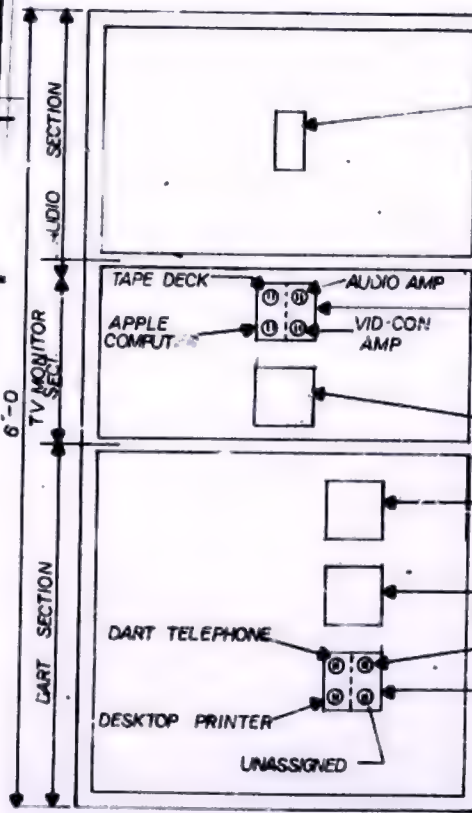
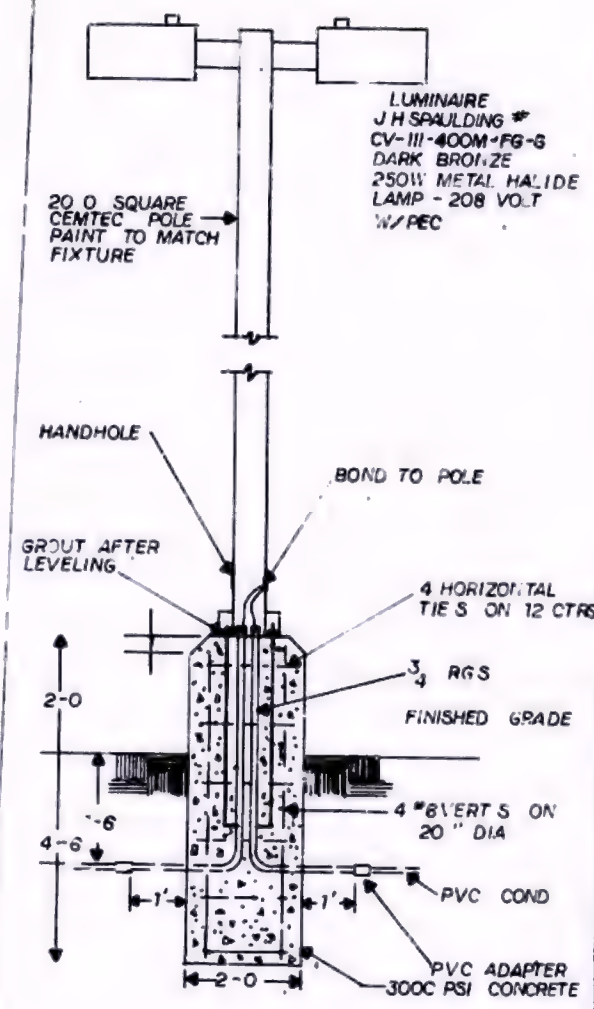
SCALE: 1" = 30'-0"

- Telephone Outlet
- Motor Starter or Contactor
- Push Button
- Buzzer #1
- Buzzer #2
- Kitchen Equipment Item Indicator
- Speaker
- Recessed 2 x 4 Fluorescent
- Surface Mounted Fluorescent
- Exit Light ceiling, wall mounted w/battery pack
- Emergency Light w/battery pack
- P.E. Cell
- Pole Mounted Parking Lot Light (Cut off type)
- Recessed Wall Washer
- Ceiling, Wall Mounted Incandescent



LIGHT POLE DETAIL

NO SCALE



ELECTRONICS CABINET

SCALE: NONE

- FURNISH INSTALL SINGLE GANG SWITCH BOX @ 50" AFF FOR AUDIO CABLING
- TWO DUPLEX GROUNDING RECEPTACLES W/COMMON 2-GANG COVER PLATE. INSTALLED @ 42" AFF FOR TV MONITOR SYSTEM & AUDIO POWER
- 4 1/8" SQ FLUSH & BLANKED TV MONITOR JB W/ 36" AFF.
- 4 SQ FLUSH & BLANKED JB FOR DART SYSTEM CABLING @ 24" AFF.
- DART SYSTEM TELEPHONE OUTLET @ 18" AFF
- DART CPU
- TWO GROUNDING DUPLEX RECEPTACLES W/COMMON 2-GANG PLATE @ 12" AFF
- NOTE: INSTALL ALL BOXES IN WALL BEHIND CABINET AS INDICATED.

DATE: 11-14-83

JOB NO. PROJECT MORE DRAWINGS BY: REVIEWED BY:

E-5

SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.  
8-M PIZZA INC. STORE NO. 2  
2650 E. NORTHERN AVENUE - SUITE 10C  
PHOENIX, ARIZONA

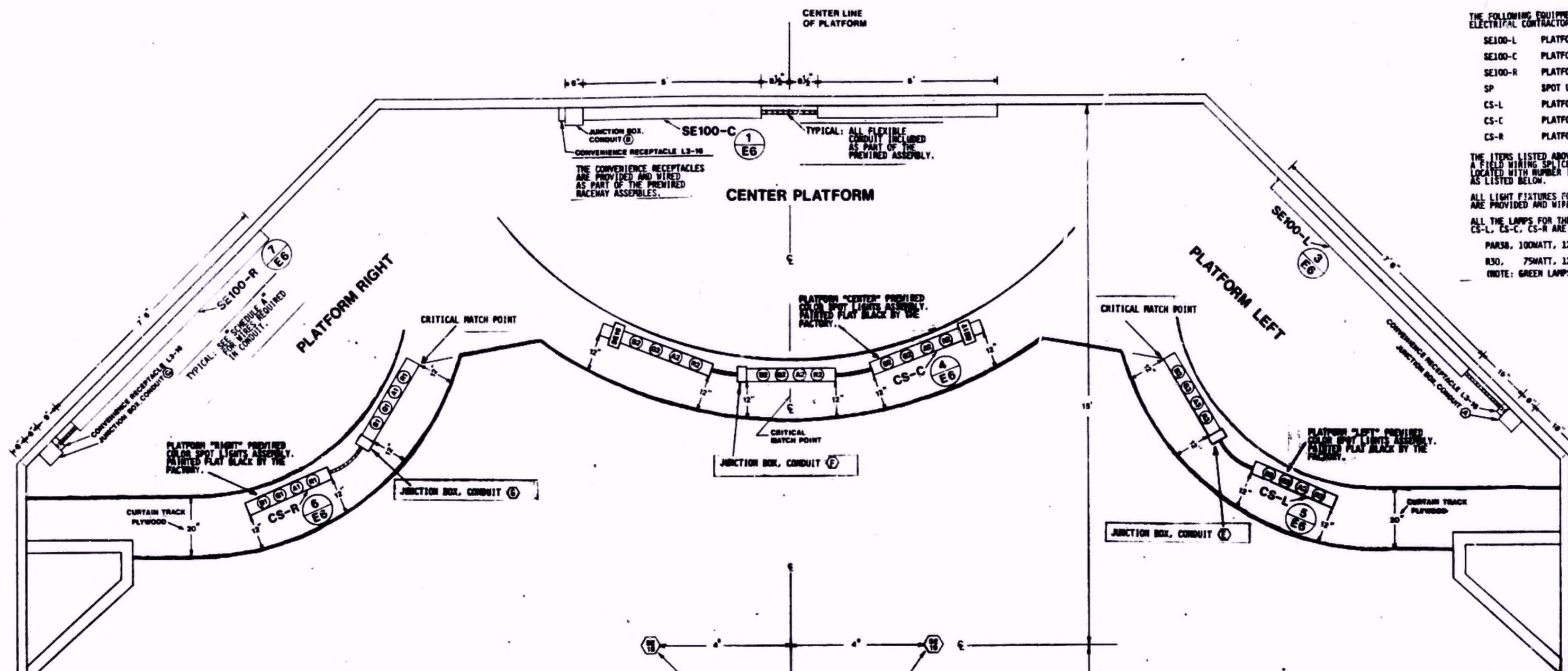
UNBERGER ASSOCIATES  
LAND PLANNING ARCHITECTURE LANDSCAPE ARCHITECTURE

PHOENIX, ARIZONA 85014 (602) 264-2617









THE FOLLOWING EQUIPMENT IS FURNISHED BY THE OWNER TO THE ELECTRICAL CONTRACTOR FOR INSTALLATION:

- SE100-L PLATFORM LEFT "SE" RACEWAY ASSEMBLY.
- SE100-C PLATFORM CENTER "SE" RACEWAY ASSEMBLY.
- SE100-R PLATFORM RIGHT "SE" RACEWAY ASSEMBLY.
- SP SPOT LIGHTS RECEPTACLE RACEWAY ASSEMBLY.
- CS-L PLATFORM LEFT COLOR SPOT LIGHTS ASSEMBLY.
- CS-C PLATFORM CENTER COLOR SPOT LIGHTS ASSEMBLY.
- CS-R PLATFORM RIGHT COLOR SPOT LIGHTS ASSEMBLY.

THE ITEMS LISTED ABOVE ARE COMPLETELY PREWIRED, EACH HAVING A FIELD WIRING SPICE LOCATION IN WHICH ALL FACTORY WIRES ARE LOCATED WITH NUMBER IDENTIFICATION TAGS TO MATCH THE SCHEDULE AS LISTED BELOW.

ALL LIGHT FIXTURES FOR THE PREWIRED COLOR SPOT LIGHTS ASSEMBLIES ARE PROVIDED AND WIRED BY THE FACTORY.

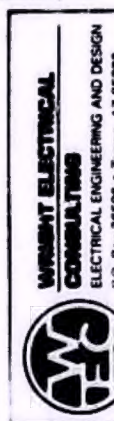
ALL THE LAMPS FOR THE PREWIRED COLOR SPOT LIGHTS ASSEMBLIES CS-L, CS-C, CS-R ARE PROVIDED BY A/C CONTROLS #66, CO.

PAR38, 100WATT, 120VOLT, FOR BLUE, RED, AND GREEN.

R30, 75WATT, 120VOLT, FOR AMBER.

(NOTE: GREEN LAMPS NOT INSTALLED FOR THE CS-C ASSEMBLY)

RAF100-B CONTROL PANEL WITH PANELBOARD "L3" PREWIRED AND WIRED IS PROVIDED BY OWNER



- ASSEMBLY MOUNTING POSITION**
- SE100-L MOUNTS AT PLATFORM LEFT, AGAINST THE WALL
  - SE100-C MOUNTS AT CENTER PLATFORM, AGAINST THE WALL
  - SE100-R MOUNTS AT PLATFORM RIGHT, AGAINST THE WALL
  - SP MOUNTS AT CEILING TILE IN DINING ROOM
  - CS-L MOUNTS AT CEILING ABOVE PLATFORM LEFT
  - CS-C MOUNTS AT CEILING ABOVE CENTER PLATFORM
  - CS-R MOUNTS AT CEILING ABOVE PLATFORM RIGHT

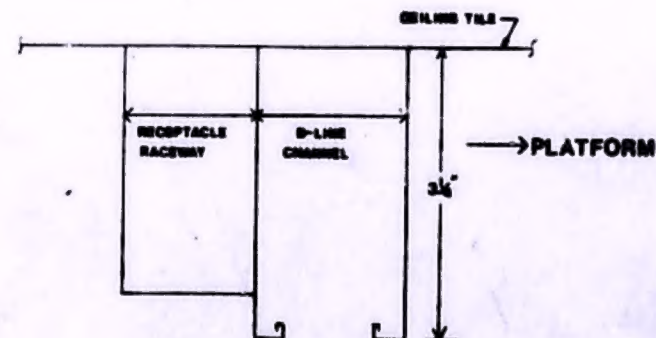
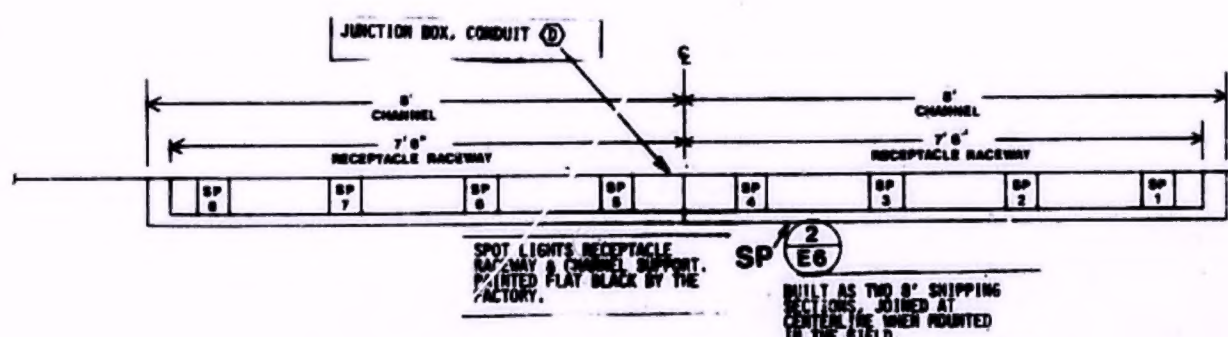
"80" Ø TAGON BOX MOUNTED PLUMB TO TW. CEILING TILE WITH A SINGLE 20MM", 120VOLT, NEMA5-20R TYPE. BROX-A RECEPTACLE, MOUNTED IN A "80" COVER. THE COVER IS TO BE PAINTED FLAT BLACK BY THE ELECTRICAL CONTRACTOR.

WIRES & CONDUIT NUMBERING TO THE RAF100-B CONTROL PANEL FROM THE PREWIRED ASSEMBLIES

**SCHEDULE A**

ASSEMBLY	CONDUIT	NO. OF WIRES	WIRE IDENTIFICATION AND TERMINAL POINT CONNECTION ON THE PASTER TERMINAL STRIP IN THE RAF100-B CONTROL PANEL OR PANELBOARD "L3"
SE100-L	①	13	SE12, SE13, SE14, SE15, L3-16, SL-L1, SL-X, SL-O, SL-C, 3-WHITE NEUTRALS, 1-GREEN GROUND
SE100-C	②	19	SE4, SE5, SE6, SE7, SE8, SE9, SE10, SE11, L3-16, CS-L1, CS-X, CS-O, CS-C, 5-WHITE NEUTRALS, 1-GREEN GROUND
SE100-R	③	12	SE1, SE2, SE3, L3-16, SR-L1, SR-X, SR-O, SR-C 3-WHITE NEUTRALS, 1-GREEN GROUND
SP	④	13	SP1, SP2, SP3, SP4, SP5, SP6, SP7, SP8, 4-WHITE NEUTRALS, 1-GREEN GND.
CS-L	⑤	6	B3, G3, A3, R3, 1-WHITE NEUTRAL, 1-GREEN GROUND
CS-C	⑥	10	B2, G2, A2, R2, SE16, SE17, 3-WHITE NEUTRALS, 1-GREEN GROUND
CS-R	⑦	6	B1, G1, A1, R1, 1-WHITE NEUTRAL, 1-GREEN GROUND
NONE	⑧	5	SE18, SE19, 2-WHITE NEUTRALS, 1-GREEN GROUND

- NOTES: 1. ALL NEUTRAL WIRES TERMINATE TO THE NEUTRAL BUS BAR (WHITE)  
 2. ALL GROUND WIRES TERMINATE TO THE GROUND BUS BAR (GREEN)  
 3. ALL PHASE WIRES TO BE BLACK, RED, OR BLUE  
 4. ALL WIRES TO BE MINIMUM OF #12 THIN COPPER



- PROVIDED WITH THE "SP" RECEPTACLE RACEWAY ASSEMBLY
1. 1/2" Ø-11 LINE CHANNEL, 120A., PAINTED FLAT BLACK, SLOTTED HOLE
  2. PREWIRED RECEPTACLE RACEWAY, PAINTED FLAT BLACK
  3. EXIST (6) Ø-11 LINE CHANNELS, 1/2" Ø-11 THIN, 120A.
    - 1/2" Ø-11 LINE CHANNELS
    - 1/2" Ø-11 LINE CHANNELS
    - 1/2" Ø-11 LINE CHANNELS
    - 1/2" Ø-11 LINE CHANNELS
    - 1/2" Ø-11 LINE CHANNELS

NOTE: THE CONTRACTOR IS TO VERIFY THE VOLTAGE AND PHASE OF THE MAIN BUS BAR PRIOR TO WIRING.

# SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.  
 S-M PIZZA INC. STORE NO. 2  
 2990 E. NORTHERN AVENUE - SUITE 100  
 PHOENIX, ARIZONA

UNBERGER ASSOCIATES  
 LAND PLANNING-ARCHITECTURE-INTERIOR ARCHITECTURE

REVISION DATES

DATE: \_\_\_\_\_

JOB NO. \_\_\_\_\_

PROJECT MGR. \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

REVIEWED BY: \_\_\_\_\_



# SECTION 0520

## TREES, SHRUBS, AND GROUNDCOVER

### PART 1 - GENERAL

Refer to Division 1 for General Requirements.

#### Work Specified Herein

This section describes the labor, materials and installation requirements necessary to complete the fine grading, incidental grading, planting and related items as indicated or specified.

#### Submittals

Inspection certificates by State, Federal and others indicating the origin and health of the plant material in duplicate.

Sample of decomposed granite for approval.

All plant material shall be reviewed by the Architect at the source of supply. Architect reserves the right to refuse any plant material he deems unacceptable.

Written guarantee warranting the plant material to be in healthy condition 60 days from the date of substantial completion and that material that is not shall be replaced at no cost to the owner within 30 days of written notice. Warrantee replacement planting shall be warranted for 60 days from the date of planting.

#### Delivery, Storage, and Handling

Each tree, shrub, groundcover flat, container of fertilizer, or other construction material shall be labeled by grower or manufacturer as separate items. Bulk deliveries of mulch, granite, topsoil, etc., shall be accompanied with two delivery tickets. One delivery ticket shall be provided to the Contractor.

#### Job Conditions

The Sub-Contractor shall receive the site with compacted grade at plus or minus one tenth (1/10) of a foot except as noted in Grading in this section. The planting areas will be free of waste or debris developed by other trades. Any discrepancy from such conditions shall be reported to the Contractor before beginning construction.

#### Grading

Sub-Contractor shall fine grade all planting areas.

Sub-Contractor shall provide incidental grading of all areas adjacent to curbs and sidewalks. Provide a finish grade one and one half (1 1/2) inches below curbs or sidewalks. When sod or decomposed granite is being installed, the appropriate subgrade shall be graded prior to the installation of such materials.

The existing soil shall be graded to an elevation two inches (2") below the top of curbing with a 4:1 maximum slope.

#### Planting Season

The planting of trees, shrubs, and/or groundcover shall be performed during favorable weather conditions. Plant material which would be susceptible to loss under adverse conditions of heat or cold at initial planting, shall only be planted with permission requested in writing by the Sub-Contractor and approved by the Architect.

#### PART 2 - PRODUCTS

Commercial fertilizers shall be as follows:

Iron-Sul: Ground ferrous sulfate containing not less than 30% iron and not less than 30% sulphur as manufactured by Davall.

Agricultural grade gypsum.

Vitamin B-1 root stimulator.

Agriform planting tabs.

Organic amendments shall be as follows:

Mulch shall be approved nitrogenized saw dust or forest humus.

Tree stakes shall be 2"x2"x8' redwood, free-of knots and/or cracks.

Tree ties shall be wire of pliable zinc-coated iron of #10 gauge, provide a minimum of two (2) per tree.

Home covering shall be two-ply, reinforced, rubber garden hose of at least 8" diameter.

Law Headers shall be as noted and detailed in Drawings.

Trees, shrubs, and groundcovers from flats shall be grown in pots, tubs, cans, boxes, or flats as scheduled. Plants shall have sufficient roots to hold earth intact after rootball is removed from the container without being rootbound. Plants shall be approved or rejected at the Architect's discretion for damage, health, form, and size before planting. Plant materials that are poor in health or damaged prior to substantial completion and/or during the warranty period will be identified and shall be replaced by the Contractor within fourteen (14) days of written notice.

Tree paint shall be as manufactured by Ortho.

Pre-emergent herbicide shall be Surflan 75W as manufactured by Elanco Chemical Company.

Contact herbicide shall be Round-up as manufactured by Monsanto.

#### PART 3 - EXECUTION

Prepare site by applying Round-up as per label directions to weed growth on site. Scarify planting areas to a minimum depth of six inches (6"). Float beds to grade and rake to remove weeds, clods, or rocks one inch in diameter or greater. Thoroughly water settle all soil.

Beds for materials from flats shall have three (3) cubic yards of mulch, one hundred fifty (150) pounds of Gro-Power, and one hundred fifty (150) pounds of Gypsum per one thousand square feet (1000 S.F.), incorporated into the top six inches of the bed.

Granite groundcover areas shall be floated and raked to a finish subgrade prior to the installation of the granite.

Stake plant material locations prior to planting for approval by the Architect.

Pits for container grown plant material shall be excavated twice the size of the rootball of the plant being planted.

Remove plants from containers without disturbing the rootball. Set plants in pit, cradling and supporting the rootball. Position plant for the "best side" view and, for minimum obstruction to traffic on adjacent pavement.

Backfill pit with a blended mixture containing one part mulch, three parts native soil, one-half part gypsum, and one-fourth cup of Iron-Sul per cubic yard of backfill. When the plant is set and the backfill has been water settled, the top of the rootball shall be placed two inches below finish grade. Agriform tablets shall be placed approximately six inches (6") below finish grade in this process in quantity as shown on the Drawings.

An alternate method for the application of Iron-Sul for the planting of container plants would be to place:

1. one handful divided equally in six-one gallon plant pits
2. one handful divided equally in four-five gallon plant pits
3. one handful in each fifteen gallon plant pit
4. two handfuls in each 24" box plant pit
5. four handfuls in each 36" box plant pit

before backfilling and setting of the plant, so rootball does not contact concentrations of Iron-Sul.

Apply Vitamin B-1 Root Stimulator at the rate of one tablespoon per gallon.

Stake trees as per detail, detail, minimum, or as directed to properly support the plant material supplied.

Prune each tree and shrub to preserve the natural character of the plant per American Standard for Nursery Stock as published by the American Association of Nurserymen. Prune to remove all suckers, deadwood, and broken or badly bruised branches. Prune cuts over three-fourths (3/4) inch in diameter and exposed cambium of bruised areas with tree paint as specified herein.

Mulch all plant pits, shrub beds, and groundcover beds with a two inch (2") depth of mulch immediately after planting.

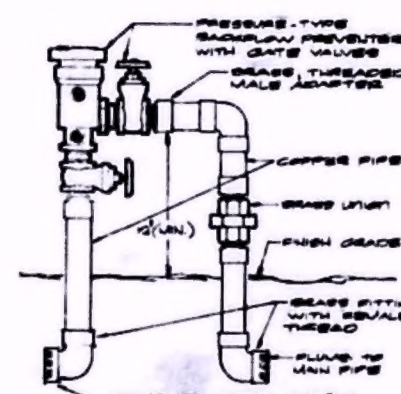
Decomposed granite shall be applied and raked to the finish grade. Thoroughly water settle the granite, to dissipate the fines and lightly roll. Apply Surflan Herbicide as per label directions to complete operation.

#### Clean-up

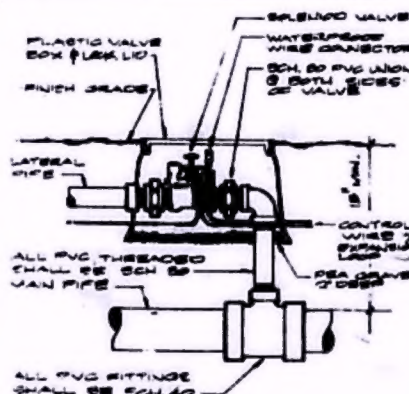
Remove all waste and debris, clean all pavement of soil and mulch created by operations in this scope of work from site.

#### Maintenance and Protection

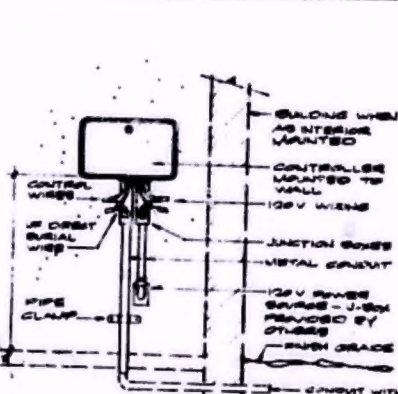
Maintenance shall begin immediately with the planting of each plant and continue through a period sixty (60) days after substantial completion. Substantial completion shall be documented in writing from the Contractor.



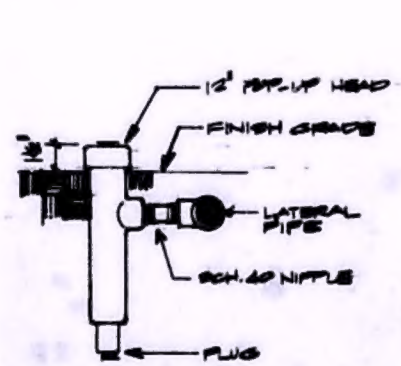
BACKFLOW PREVENTER



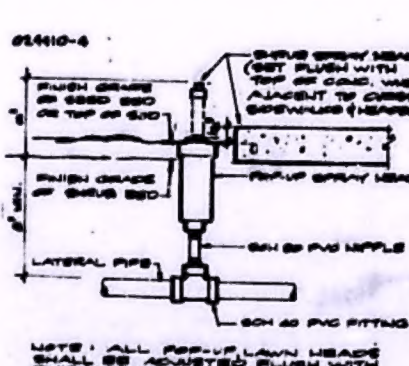
SOLENOID VALVE



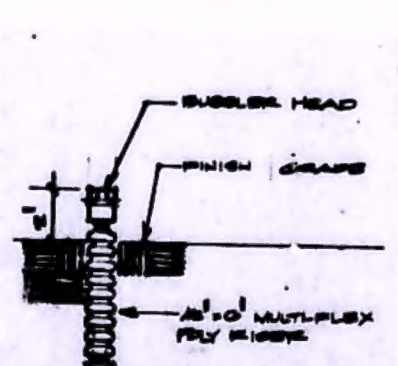
CONTROLLER



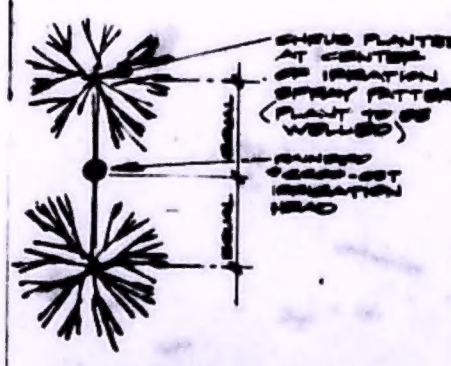
HI-POP UP SHRUB SPRAY



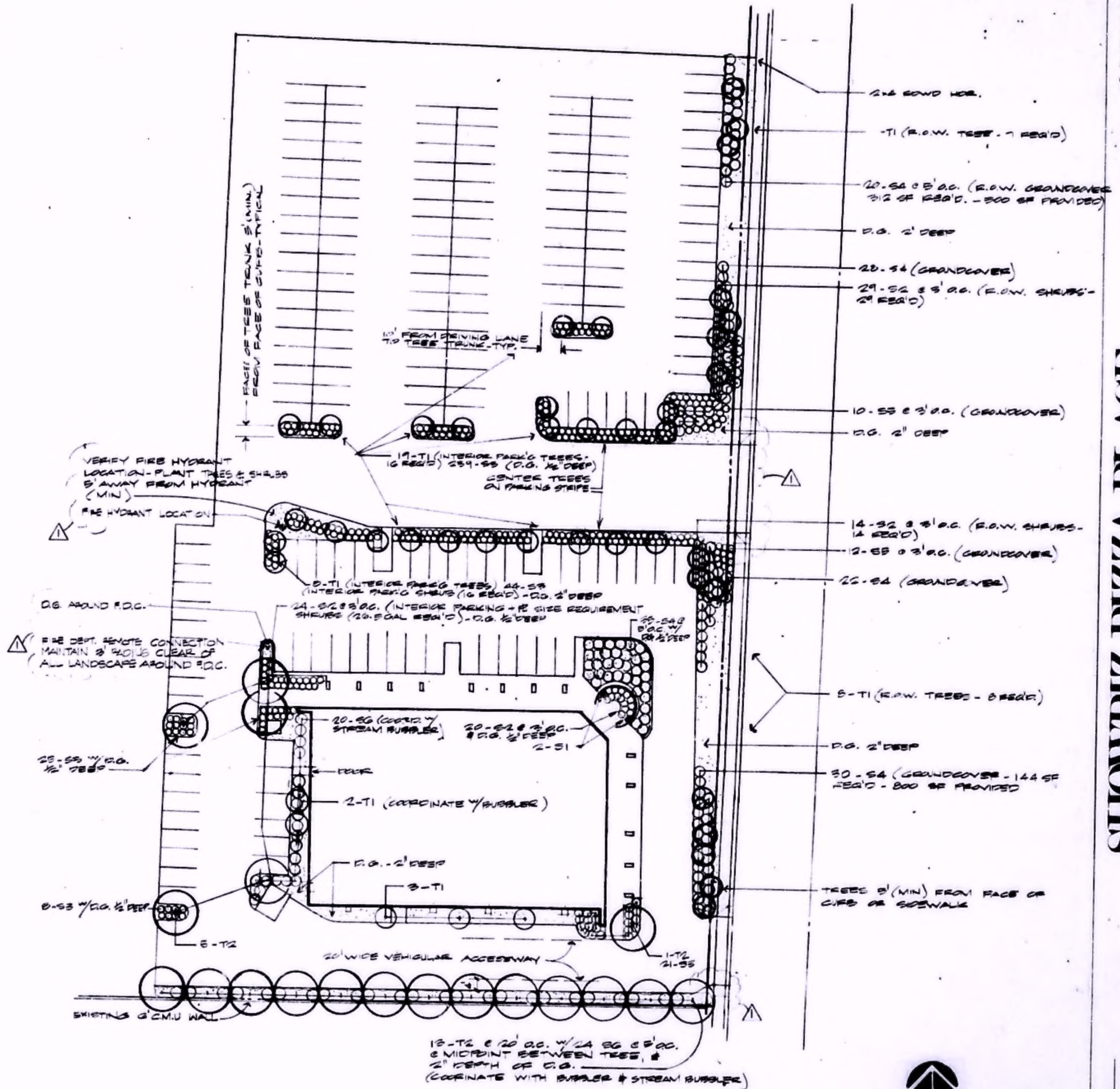
SPRAY HEADS



BUBBLER HEAD



CUT SHRUB SPRAY



PLANTING PLAN

SCALE: 1" = 30'-0"

## PLANT MATERIALS LIST

SYMBOL	QUAN.	COMMON NAME (BOTANICAL NAME)	SIZE	NOTES
T1	69	SOUR ORANGE (CITRUS AURANTIUM)	15 GAL.	PRUNE FOR 5' CLEAR TRUNK
T2	17	BOTTLETREE (BRACHYCHITON POPULUM)	150AL.	" "
S1	2	PIG VINE (FIGUS PUMILA)	5 GAL.	TRAIN TO WALL
S2	57	NATAL PLUM (CARISSA G. 'TUTTLEI')	5 GAL.	MAT' TAIN AT 3' MAX. HEIGHT
S3	337	"	1 GAL.	"
S4	135	PROSTRATE NYOPORUM (NYOPORUM PARVIFOLIUM)	1 GAL.	"
S5	22	TRAILING LANTANA (LANTANA MONTVIDENSIS)	1 GAL.	"
S6	44	JAPANESE PRIVET (LIGUSTRUM JAPANESE)	1 GAL.	"
D.G.	12000SF	GOLDEN DECOMPOSED GRANITE	3/4" MINUS 1/4" OR 2" AS NOTED	"

DATE: 55-10-98

REVISION DATES

L-1



SHOWBIZ PIZZA PLACE  
856 S. ALMA SCHOOL RD.  
S-M PIZZA INC. STORE NO. 2  
2990 E. NORTHERN AVENUE - SUITE 100  
PHOENIX, ARIZONA

UNBERGER ASSOCIATES  
LAND PLANNING ARCHITECTURE

PHOENIX, ARIZONA 85041 (602) 461-2617



PANEL L1	TYPE NQ08	200 AMP MAIN BREAKER			
120/208 V 3 PH 4 W	MOUNTED FLUSH				
CIRCUIT DESCRIPTION	%	VA	VA	%	CIRCUIT DESCRIPTION
Game Room Column Recept.	20	1920		20	Game Room Column Recept.
	1	360		1	
	2	360		2	
	3	360		3	
	4	360		4	
	5	360		5	
	6	360		6	
	7	360		7	
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Section 02760

# IRRIGATION SYSTEM

## Part 1 - GENERAL

Refer to Division 1 for General Requirements.

Work Specified Herein

This Section describes the labor, materials and installation requirements necessary to layout and install an automatic irrigation system adequate to irrigate plant materials of Section 02820.

## Submittals

Contractor will provide one reproducible (sepi) plan of the irrigation layout to the Sub-Contractor before construction. Before substantial completion this plan shall be revised to represent the entire system as constructed in the field.

Submit all manufacturer's warranties along with date of purchase and supplier's invoice number for all equipment installed.

Provide written guarantee warranting the entire system for one year from completion for materials and workmanship.

## Delivery, Storage and Handling

Store all materials under cover.

## Job Conditions

Sub-Contractor shall provide a 100% coverage, complete automatic irrigation system as schematically diagrammed on the drawings. In-field layout shall provide heads at a consistent spacing not to exceed that shown on the plans for each type of head or an approved spacing, if there is an equipment substitution. Any major variation of in-field requirements to those specified in the drawings shall be reported to the Contractor before beginning construction.

Sub-Contractor shall verify the installation of allowing, if any, provided in other sections of work that will be used for irrigation.

## Part 2 - PRODUCTS

### Materials

Equipment shall be as noted on the plans.

Control wire shall be #14 UF-800V solid copper with pilot or "hot" wires of one color and "common" wires of another color.

Valve boxes and lids shall be as manufactured by Amer, Intercontinental, or Roly.

Polyvinyl Chloride (PVC) Pipe shall be 1120/1120 normal impact, solvent weld type. Refer to Drawings for Pipe Class required.

PVC fittings shall be of same chemical compound as pipe on which it is installed. Use Schedule 40 medium wall fittings for all slip connections. Use Schedule 40 heavy wall fittings for all fittings with one or more threaded outlets.

PVC pipe solvent and primer shall be as recommended by the pipe manufacturer and fitting manufacturer.

Backflow prevention equipment shall meet all local code requirements.

## Part 3 - EXECUTION

### Installation

Equipment shall be installed as per details or approved manufacturer's details.

Trenches shall be excavated for minimum pipe depths of eight inches (8") for laterals and fifteen inches (15") for main pipes. Embedment for pipe shall be free of rubble or rocks. Expansion and contraction of pipe shall be compensated for as per pipe manufacturer's recommendations. Thoroughly waterseal all trench backfill.

Piping under concrete shall be installed by jacking, boring, or hydraulic driving.

Piping under asphalt shall be sleeved. Trench depth shall be twenty-four inches (24") below finish subgrade.

Solvent welding shall be accomplished with primer and solvent for main pipes and with solvent for lateral pipes as per manufacturer's recommendations.

Pipe cuts shall be square with burrs removed before installation.

All metal to plastic connections shall be by Schedule 40 PVC male adaptors.

Heads adjacent to pavement or curbs shall not exceed finish curb or pavement elevation in height.

### Flushing, Testing, and Adjustment

After main pipe, backflow preventer, and valves are installed, pipe shall be flushed with water and tested for leaks with static city water pressure. Contractor shall inspect main pipe for leaks before main is backfilled. When repairs are complete, the approved main pipe trench shall be backfilled.

Flush all laterals thoroughly before installing heads. Leaks in laterals shall be made watertight.

Automatic valve operation shall be tested by activation at the controller. Wiring and/or valves shall be repaired for proper operation as required.

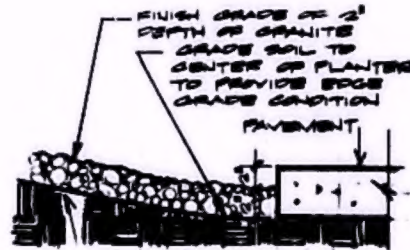
Adjust all heads for proper pattern, water flow, and distance. Adjust any pressure regulators to specified pressures or as directed in the field.

### Maintenance

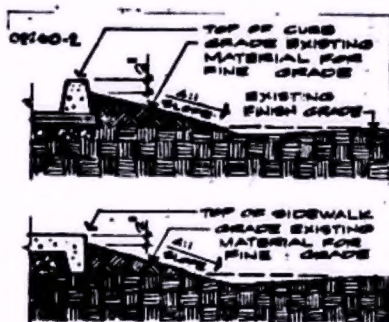
Sub-Contractor shall adjust heads in turf areas flush with settled, finish grade prior to final completion of planting operations as directed by the Contractor.

END OF SECTION

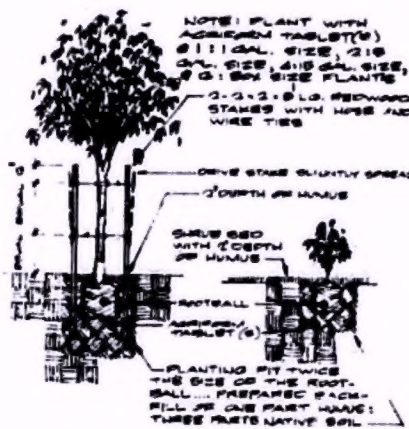
## PLANTING DETAILS



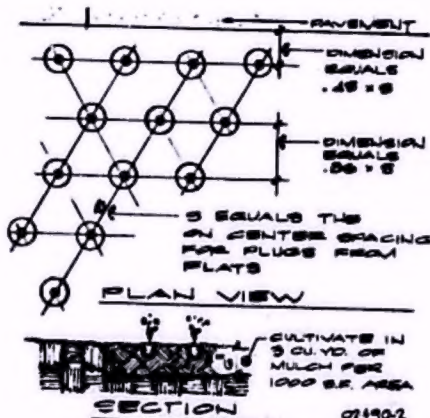
## INCIDENTAL GRADING



## INCIDENTAL GRADING



## TREE & SHRUB PLANTING



## GROUND COVER

## IRRIGATION PLAN

## IRRIGATION LEGEND

SYMBOL	MANUFACTURER AND DESCRIPTION
■	IRRI-TROL MC-6 CONTROLLER
●	RAINBIRD EP SERIES SOLENOID VALVE
○	STATION NUMBER
○	ESTIMATED FLOW (GPM)
○	SIZE OF VALVE
●	SMR 711-1/2" PRESSURE TYPE BACKFLOW PREVENTER
○	RAINBIRD 1812 SERIES POP-UP HEAD WITH NOZZLES AS KEYED BELOW
○	RAINBIRD A-18 SHRUB SPRAY WITH NOZZLES AS KEYED BELOW
○	N-1800 EST N-1800 CST B176Q B176H B176P B175TQ B15-EST
○	RAINBIRD 2200 STRIP PATTERN STREAM BUBBLER
○	RAINBIRD 1300-P BUBBLER
○	MAINPIPE, CLASS 160 PVC, MINIMUM
○	LATERAL PIPE, CLASS 160 PVC, MINIMUM

SCALE: 1" = 30'-0"



SHOWBIZ PIZZA PLACE

856 S. ALMA SCHOOL RD.

S-M PIZZA INC. STORE NO. 2

2990 E. NORTHERN AVE. SCOTTSDALE, ARIZONA

UNBERGER ASSOCIATES

LAND PLANNING ARCHITECTURE - LANDSCAPE ARCHITECTURE - 815 EAST C

DATE:

JOB NO.:

PROJECT NO.:

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